TWO FAMILY HOUSE

CODE AUTHORITIES

ALL WORK TO CONFORM TO THE FOLLOWING REQUIREMENTS:

- 1. BUILDING CODE: 2015 INTERNETIONAL RESIDENTIAL CODE
- 2. MECHANICAL CODE: 2015 INTERNETIONAL MECHANICAL CODE 3. ELECTRICAL CODE: 2012 NFPA NEC,
- 4. 2015 INTERNETIONAL ENERGY CONSERVATION CODE
- 5. PLUMBING CODE: 2015 INTERNETIONAL PLUMBING CODE

PROJECT INFORMATION

PROJECT DESCRIPTION:
PROJECT ADDRESS:

3 STORY TOWN HOUSE CANAL PARK DR SALISBURY, MD 21804

ZONING: CONSTRUCTION TYPE: LOT SIZE:

V-B

DRAWING INDEX		DRAWING INDEX		DRAWING INDEX	
Sheet Number Sheet Name		Sheet Number	t Number Sheet Name		Sheet Name
A000	COVER SHEET	A012	BATHROOM 3RD FLOOR PLANS, ELEVATIONS	M003	3D WIEV
A001	1ST & 2ND FLOOR PLANS	A014	ISOMETRIC VIEWS	P000	PLUMBING NOTES
A003	3RD & ROOF FLOOR PLANS	E000	ELECTRICAL NOTES	P001	1ST FLOOR WATER SUPPLY PLAN &
A005	ELEVATIONS	E001	1ST FLOOR POWER & LIGHTING PLAN	FUUT	SANITARY PLAN
A006	ELEVATIONS	E002	2ND FLOOR POWER & FLOOR LIGHTING PLAN	P002	BASEMENT FLOOR WATER SUPPLY PLAN &
A007	BUILDING SECTION	E003	3RD FLOOR POWER & FLOOR LIGHTING PLAN		SANITARY PLAN
A008	SCHEDULES	E004	PANEL SCHEDULES	P003	RISER DIAGRAMS & DETAILS
A009	KITCHEN PLAN, ELEVATIONS	M000	MECHANICAL NOTES	S000	STRUCTURAL NOTES
A010	W/C 1ST FLOOR PLAN, ELEVATIONS	M001	1ST FLOOR MECHANICAL PLAN	S001	FOUNDATION & SLAB PLAN
A011	BATHROOM 2ND FLOOR PLAN, ELEVATIONS	M002	BASEMENT FLOOR MECHANICAL PLAN	S002	CIP SLAB PLAN

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2015 IRC, 2012 IECC AND ALL LOCAL CODES AND ORDINANCES, AND ALL OTH RULES AND REGULATIONS, AS WELL AS ALL CITY, COUNTY AND FEDERAL RULES, REGULATIONS, ORDINANCES, SAFETY LAWS ORDINANCES. IF THE DRAWINGS AND/OR THE SPECIFICATIONS ARE AT VARIANCE THEREWITH, THE CONTRACTOR SHALL SO NOTIFY THE ARCHITECT IMMEDIATELY

2. SLOPE GRADE AWAY FROM STRUCTURE A MIN. OF 5% FOR 5 FEET.

3. ROOF AND DECK DOWNSPOUTS, FOUNDATION PERIMETER DRAIN LINE, DRIVEWAY AND PATIOS SHALL BE CONNECTED TO A SUBTERRANEAN SYSTEM WHERE REQUIRED BY CURRENT STORM DRAINAGE ORDINANCE.

4. PRIOR TO INSPECTION OF ROOF FRAMING, ENGINEERED CALCULATIONS FOR THE MANUFACTURED ROOF TRUSSES, AS PER PLAN, WILL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL.

5. THE GENERAL NOTES ARE COMPLEMENTARY TO THE GENERAL CONDITIONS AND SPECIFICATIONS. SHOULD CONFLICTS OCCUR, THEY SHALL BE **BROUGHT TO THE ARCHITECT'S ATTENTION.**

6. SHOULD CONFLICTS OCCUR BETWEEN THE DRAWINGS AND SPECIFICATIONS, DRAWINGS SHALL GOVERN IN MATTERS OF DIMENSION OR QUANTITY; SPECIFICATIONS SHALL GOVERN IN MATTERS OF MATERIALS, INSTALLATION OR FINISHES.

7. DURING CONSTRUCTION, REPORT ALL DISCREPANCIES AND/OR CONFLICTS IN THE DRAWINGS TO THE ARCHITECT IMMEDIATELY.

8. VERTICAL AND HORIZONTAL FIRE BLOCKING SHALL CONFORM TO IBC R608.2.

9. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND LABOR REQUIRED TO COMPLETE THE WORK. EXCLUSION OF AN ITEM OR ITEMS DOES NOT IMPLY OMISSION. THE CONTRACTOR'S RESPONSIBILITY IS TO NOTIFY THE ARCHITEC T & OWNER OF THESE OMISSIONS PRIOR TO THE SUBMISSION OF BIDS. THE CONTRACTOR SHALL COMPLY WITH THE SPIRIT AND INTENT OF THESE DOCUMENTS AND SHALL COMPLETE THE WORK SATISFACTORILY AND IN A MANNER ACCEPTABLE TO THE OWNER. THESE DOCUMENTS ILLUSTRATE THE MINIMUM STANDARDS OF CONSTRUCTION AND THE CONTRACTOR SHALL MEET OR EXCEED NORMAL CONSTRUCTION TECHNIQUES AND STANDARDS FOR A BUILDING OF THIS TYPE.

10. NEITHER THE ARCHITECT, THE ENGINEER, OR THE OWNER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF THE CONTRACTOR; SAFETY PRECAUTIONS AND PROGRAMS OF CONTRACTOR; THE ACTS OR OMISSIONS OF THE CONTRACTOR; OR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS OR SPECIFICATIONS.

11. VERIFY DIMENSIONS, GRADES, ELEVATIONS AND CRITICAL LOCATIONS, SUCH AS STRUCTURAL SUPPORTS, BEFORE COMMENCING WORK AFFECTED BY THEM. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.

12. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE DRAWINGS, SPECIFICATIONS AND EXISTING SITE CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, ERRORS OR OMISSIONS PRIOR TO CONSTRUCTION.



DRAWING INDEX					
Sheet Number Sheet Name					
S003	1ST FLOOR SRUCT WALL PLANS (SHOWING BEAMS ABOVE)				
S004	2ND & 3RD FLOORS FRAMING PLAN				
S005	2ND & 3RD FLOORS SRUCT WALL PLANS (SHOWING BEAMS ABOVE)				
S008	ROOF FRAMING PLAN				
S009	DETAILS				
S010	DETAILS				
S011	DETAILS				
S012	DETAILS				

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13. A LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL ESTABLISH BUILDING CORNERS, STRUCTURAL COLUMNS, POSTS, GRADES AND OTHER **IMPROVEMENTS IN THE FIELD.**

14. MANUFACTURED MATERIALS, EQUIPMENT, ETC., SHALL BE INSTALLED PER MANUFACTURES RECOMMENDATIONS, INSTRUCTIONS AND APPLICABLE ICBO REPORTS UNLESS OTHERWISE NOTED OR INSTRUCTED.

15. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST PRACTICES OF THE VARIOUS TRADES INVOLVED. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE IN PROPER ALIGNMENT.

16. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.

17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF THE DRAWINGS AND SPECIFICATIONS TO ALL TRADES UNDER HIS JURISDICTION. 18. SUBSTITUTIONS, REVISIONS OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE THE ARCHITECT. 19. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE AS A CONSEQUENCE OF THE ARCHITECTS FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITH IN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT DOCUMENTS. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

20. IN THE EVENT CERTAIN FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE NOTES OR SPECIFICATIONS, THEN THE CONSTRUCTION SHALL BE SIMILAR AND OF THE SAME CHARACTER AS SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.

21. THE CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS APPROVED BY THE BUILDING OFFICIAL. THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL NOT BE CHANGED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.

22. THE CONTRACTOR SHALL NOTIFY THE OWNER UPON COMPLETION OF THE WORK. AT THAT TIME THE OWNER SHALL COMPLETE A "PUNCH LIST" OF CORRECTIONS. THE OWNERS FINAL ACCEPTANCE WILL BE CAUSE FOR FINAL PAYMENT UNDER TERMS OF THE OWNER/CONTRACTOR AGREEMENT.

23. THE PROJECT SHALL BE LEFT COMPLETELY CLEAN AND CLEAR TO THE SATISFACTION OF THE OWNER.

24. ALL WORK AND MATERIAL SHALL BE NEW AND UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE AUTHORIZED BY THE ARCHITECT. VICINITY MAP

25. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING FINAL CITY APPROVALS AND A CERTIFICATE OF OCCUPANCY.

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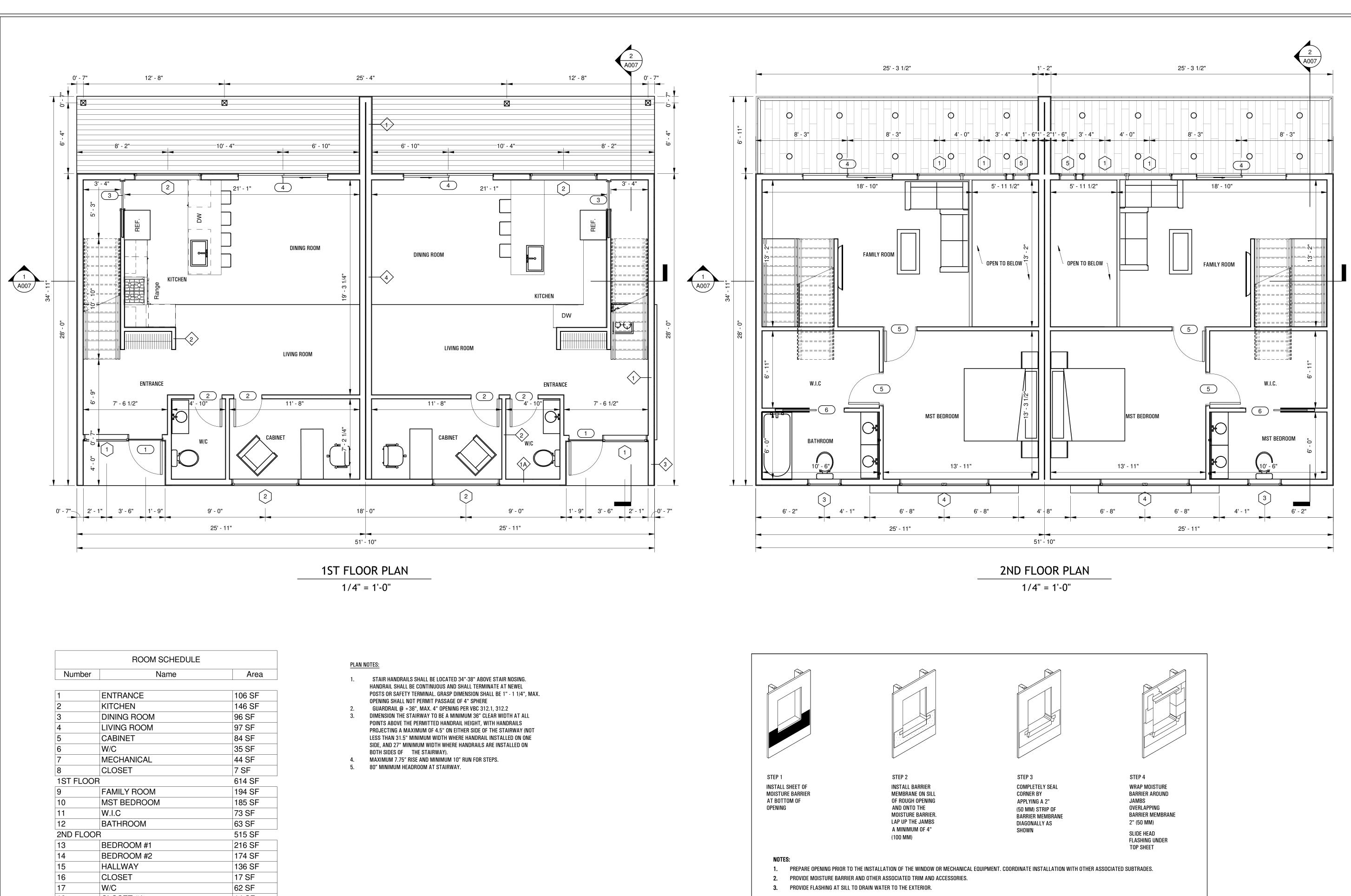
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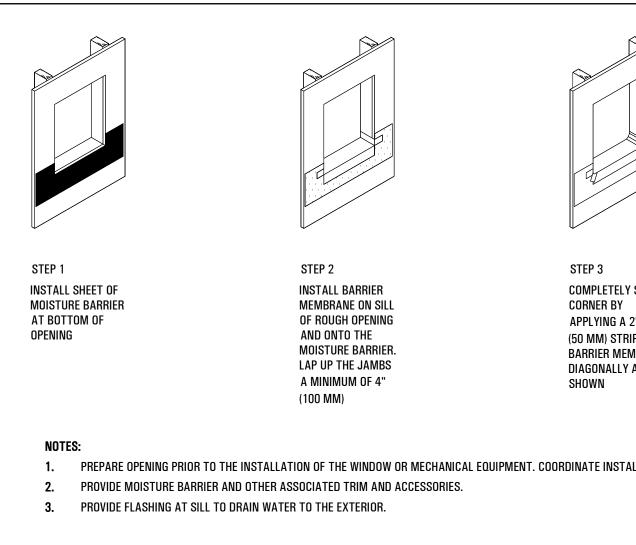
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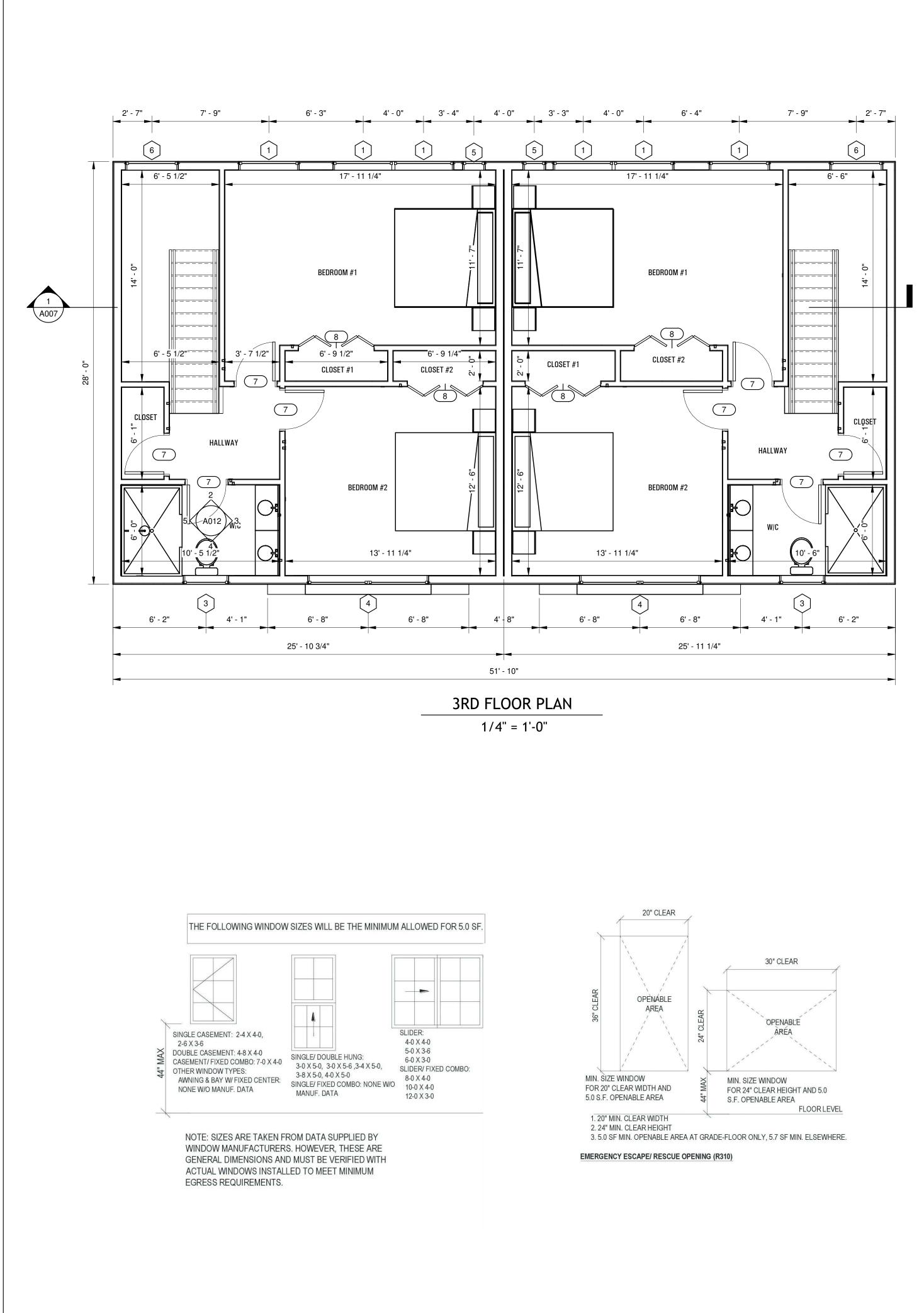
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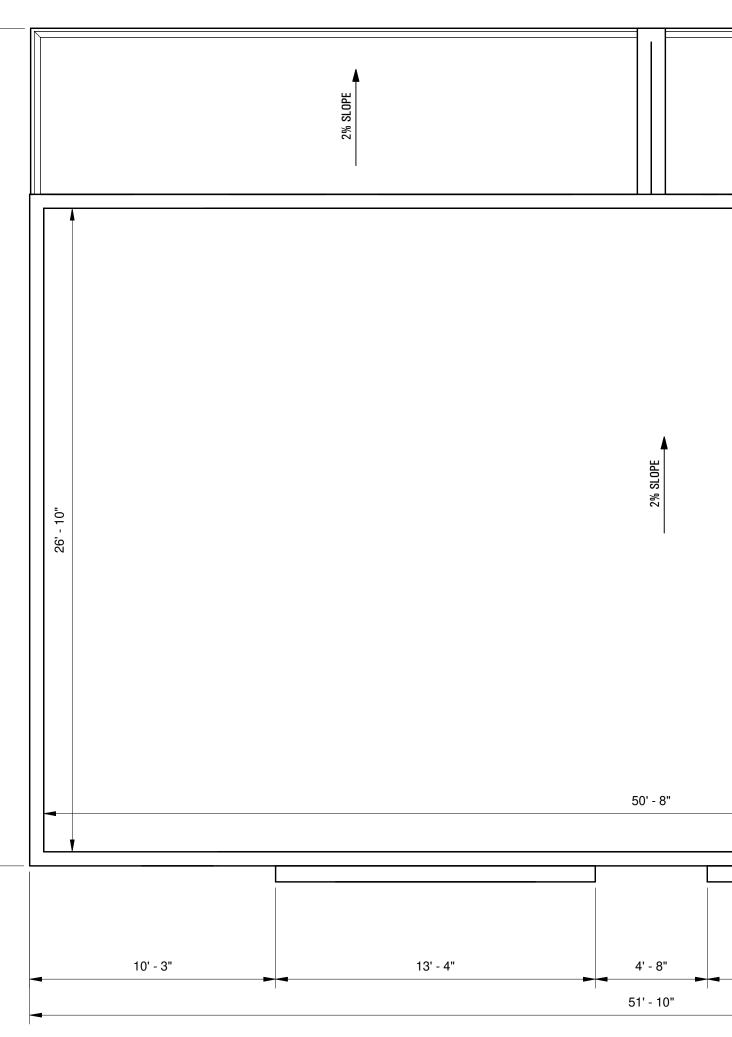
ROOM SCHEDULE				
Number	Area			
		i		
1	ENTRANCE	106 SF		
2	KITCHEN	146 SF		
3	DINING ROOM	96 SF		
4	LIVING ROOM	97 SF		
5	CABINET	84 SF		
6	W/C	35 SF		
7	MECHANICAL	44 SF		
8	CLOSET	7 SF		
1ST FLOOR		614 SF		
9	FAMILY ROOM	194 SF		
10	MST BEDROOM	185 SF		
11	W.I.C	73 SF		
12	BATHROOM	63 SF		
2ND FLOO	R	515 SF		
13	BEDROOM #1	216 SF		
14	BEDROOM #2	174 SF		
15	HALLWAY	136 SF		
16	CLOSET	17 SF		
17	W/C	62 SF		
18	CLOSET #1	14 SF		
19	CLOSET #2	14 SF		
3RD FLOO	R	633 SF		
Grand total 1762 SF				



DETAILS - ROUGH OPENING PREPARETION

TOWNHOME COMMUNIT Canal Park Dr Salisbury, MD 21804 MARK DATE DESCRIPTION ISSUE: PROJECT NO: CAD FILE: DATE: DRAWN BY: CHECKED BY: COPYRIGHT: SHEET TITLE: 1ST & 2ND FLOOR PLANS DRAWING SHEET NO: A001





ROOF PLAN

1/4" = 1'-0"

2% SLOPE			
		>	►
13' - 4" 10' - 3"			Canal Park Dr Salisbury, MD 21804
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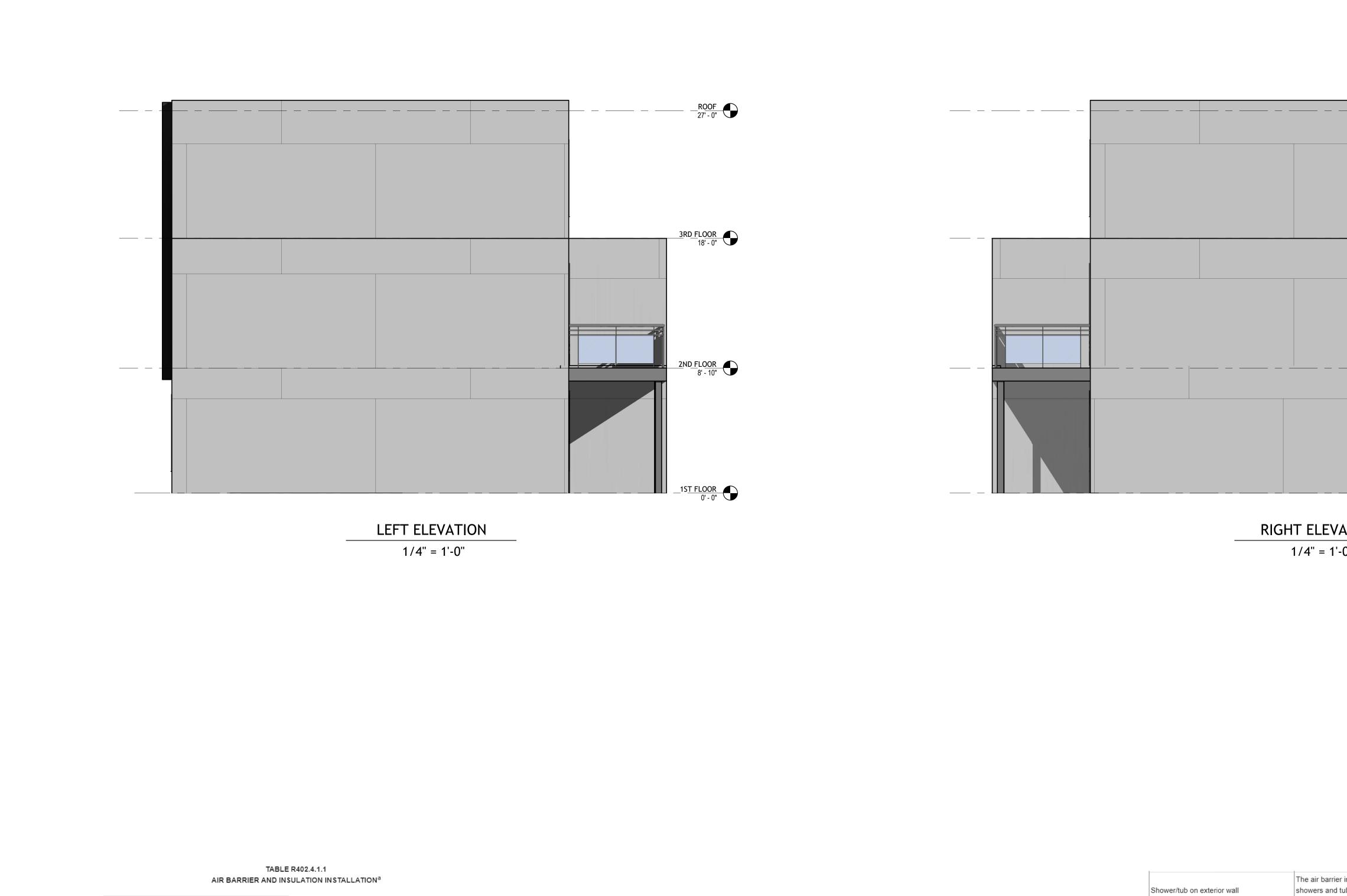
3RD & ROOF FLOOR PLANS

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ELEVATIONS			
DRAWING SHEET NO: A005			



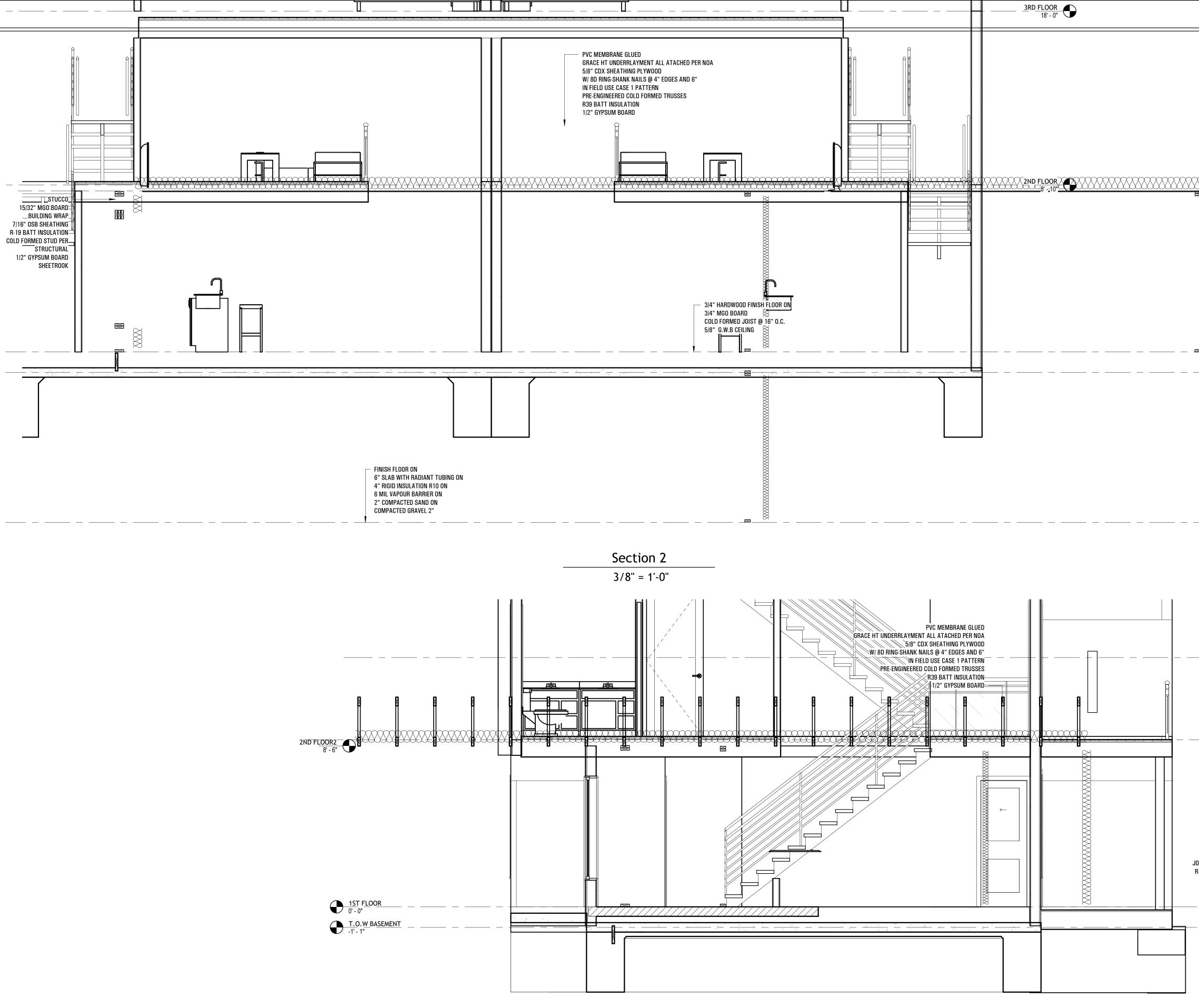
COMPONENT AIR BARRIER CRITERIA INSULATION INSTALLATION CRITERIA A continuous air barrier shall be installed in the building envelope. Air-permeable insulation shall not be used as a The exterior thermal envelope contains a continuous General requirements Floors, includi sealing material. air barrier. floors and floo Breaks or joints in the air barrier shall be sealed. garages The air barrier in any dropped ceiling or soffit shall be aligned with the insulation and any gaps in the air The insulation in any dropped ceiling/soffit shall barrier shall be sealed. Ceiling/attic be aligned with the air barrier. Access openings, drop down stairs or knee wall doors Crawl space v to unconditioned attic spaces shall be sealed. Cavities within corners and headers of frame The junction of the foundation and sill plate shall be walls shall be insulated by completely filling the Shafts, penetr sealed. cavity with a material having a thermal resistance, The junction of the top plate and the top of exterior R-value, of not less than R-3 per inch. Walls walls shall be sealed. Exterior thermal envelope insulation for framed Knee walls shall be sealed. walls shall be installed in substantial contact and continuous alignment with the air barrier. Narrow cavitie The space between framing and skylights, and the jambs Windows, skylights and doors of windows and doors, shall be sealed. Rim joists Rim joists shall include the air barrier. Rim joists shall be insulated. Garage separ

Recessed ligh

Plumbing and

				snower or tub.
cluding cantilevered I floors above	The air barrier shall be installed at any exposed edge of insulation.	subfloor decking. Alternatively, floor framing cavity insulation shall be in contact with the top side	Electrical/phone box on exterior walls	The air barrier sh communication b shall be installed
			HVAC register boots	HVAC supply and building thermal wall covering or o
				Where required t shall only be sea
ace walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Crawl space insulation, where provided instead of floor insulation, shall be permanently attached to the walls.	Concealed sprinklers	by the manufactu sealants shall no sprinkler cover p
enetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	_		
avities	_	Batts to be installed in narrow cavities shall be cut to fit or narrow cavities shall be filled with insulation that on installation readily conforms to the available cavity space		
eparation	Air sealing shall be provided between the garage and conditioned spaces.	_		
liahtina	Recessed light fixtures installed in the building thermal envelope shall be sealed to the finished surface.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.		
and wiring	_	In exterior walls, batt insulation shall be cut neatly to fit around wiring and plumbing, or insulation, that on installation readily conforms to available space, shall extend behind piping and wiring.		

		·		
	<u>ROOF</u> 27' - 0"			
	<u>3RD FLOOR</u> 18' - 0"			
	2ND FLOOR 8' - 10"			
	1ST_FLOOR 0' - 0"			
IT ELEVATION 1/4" = 1'-0"				
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The air barrier installed at exterior walls adjacent to showers and tubs shall separate the wall from the shower or tub.	Exterior walls adjacent to showers and tubs shall be insulated.			
The air barrier shall be installed behind electrical and communication boxes. Alternatively, air-sealed boxes shall be installed. HVAC supply and return register boots that penetrate	_			
building thermal envelope shall be sealed to the subfloor, wall covering or ceiling penetrated by the boot. Where required to be sealed, concealed fire sprinklers	_	MARK	DATE	DESCRIPTION
shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	_	ISSUE:		
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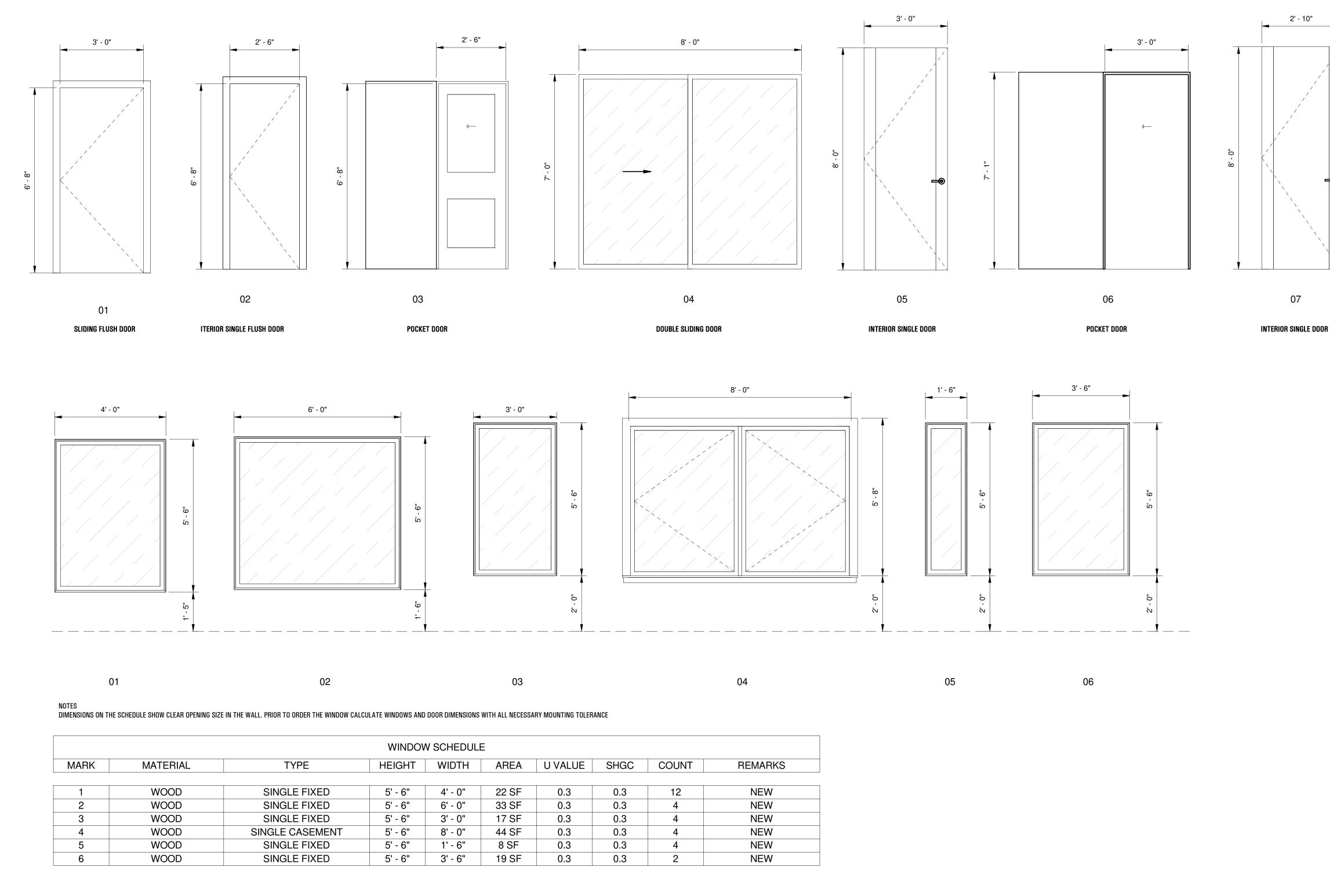


FINISH FLOOR ON 4" SLAB WITH RADIANT TUBING ON 4" Rigid insulation R10 on 6 Mil Vapour Barrier on 2" compacted Sand on compacted gravel 2" -

_____ _ _ ___

Section 3	
3/8" = 1'-0"	

STUCCO 15/32 MGO BOARD BUILDING WARP TIS OB SHEATHING R-19 BAT INSULATION CUC FORME DARD SHEETROOK 15/1 FLOOR 0'-0' T.O.W BASEMENT -1'-1'				
BASEMENT				Canal Park Dr Salisbury, MD 21804
	 STUCCO 15/32" MGO BOARD BUILDING WRAP 7/16" OSB SHEATHING R-19 BATT INSULATION COLD FORMED STUD PER STRUCTURAL 1/2" GYPSUM BOARD SHEETROOK 	MARK ISSUE: PROJEC CAD FILE DATE: DRAWN CHECKE COPYRIC SHEET T	E: BY: D BY: GHT: ITLE: BUILI	DING SECTION



			DC	DOR SCHED	ULE						
MARK	MATERIAL	TYPE	WIDTH	HEIGHT	THICKNESS	AREA	U-VALUE	SHGC	COUNT	HARDWARE	REMARKS
1	ALUMINIUM	EXTERIOR SINGLE DOOR	3' - 0"	6' - 8"	0' - 2"	20 SF	0.3	0.3	2	LOCKED	NEW
2	WOOD	ITERIOR SLIDING DOUBLE DOOR	2' - 6"	6' - 8"	0' - 2"	17 SF			4	LOCKED	NEW
3	WOOD	POCKET DOOR	2' - 6"	6' - 8"	0' - 1 1/2"	17 SF			2		NEW
4	ALUMINIUM, GLASS	SLIDING DOUBLE DOOR	8' - 0"	7' - 0"	0' - 2"	56 SF	0.3	0.3	4	LOCKED	NEW
5	WOOD	SINGLE FLUSH DOOR	3' - 0"	8' - 0"	0' - 2"	24 SF			4	LOCKED	NEW
6	WOOD	POCKET DOOR	3' - 0"	7' - 0"	0' - 1 1/2"	21 SF			2		NEW
7	WOOD	SINGLE FLUSH DOOR	2' - 10"	8' - 0"	0' - 2"	23 SF			8	LOCKED	NEW
8	WOOD	POCKET DOOR	5' - 0"	7' - 0"	0' - 1 1/2"	35 SF			4		NEW

NOTES:

WINDOW U-VALUES SHALL CONFORM TO LOCAL ENERGY CONSERVATION CODE. LISTED U-VALUES SUPPLIED BY WINDOW MANUFACTURER. 1.

WINDOW SHGC VALUES SHALL CONFORM TO CALIFORNIA ENERGY CONSERVATION CODE. LISTED SHGC VALUES SUPPLIED BY WINDOW MANUFACTURER.

ALL WINDOWS SHALL BE LOW-E4 (HARD COAT) COATED, ARGON FILLED 3. PER 402.4.4, FENESTRATION THAT IS NOT SITE BUILT SHALL BE LISTED AND LABELED AS MEETING AAMA

PER 402.4.2 & 402.4.2.1, BUILDING ENVELOPE TIGHTNESS SHALL BE VERIFIED BY A BLOWER DOOR TEST

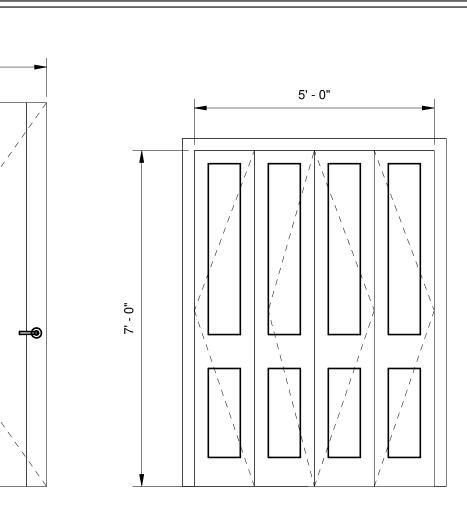
6. PER 303.2 & 402.2.8, SLAB EDGE INSULATION SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS

7. PER 303.2, ALL WALL INSULATION SHALL BE INSTALLED PER MANUFACTUER'S INSTRUCTIONS

4. 5.

2.

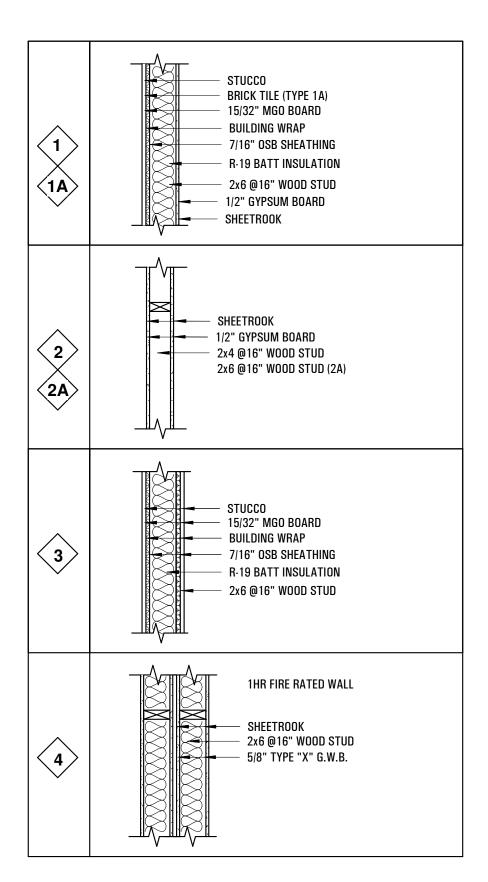
HGC	COUNT	REMARKS
0.3	12	NEW
0.3	4	NEW
0.3	2	NEW

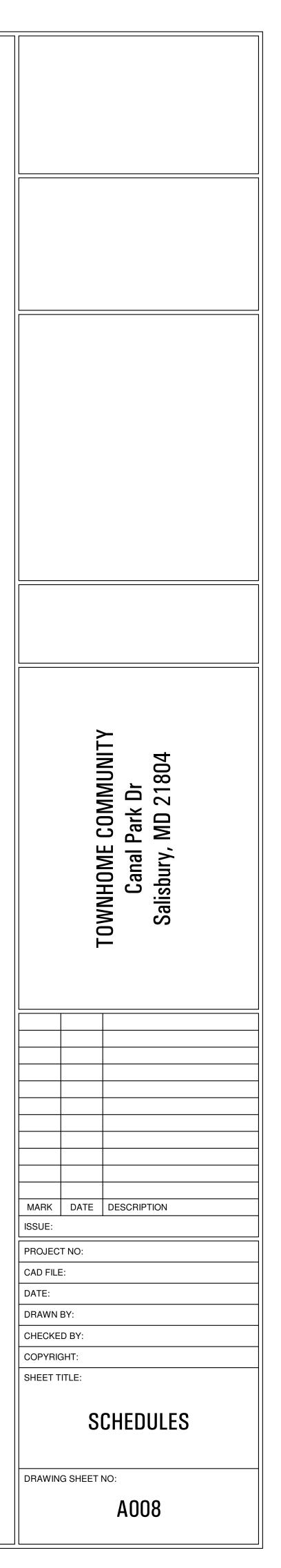


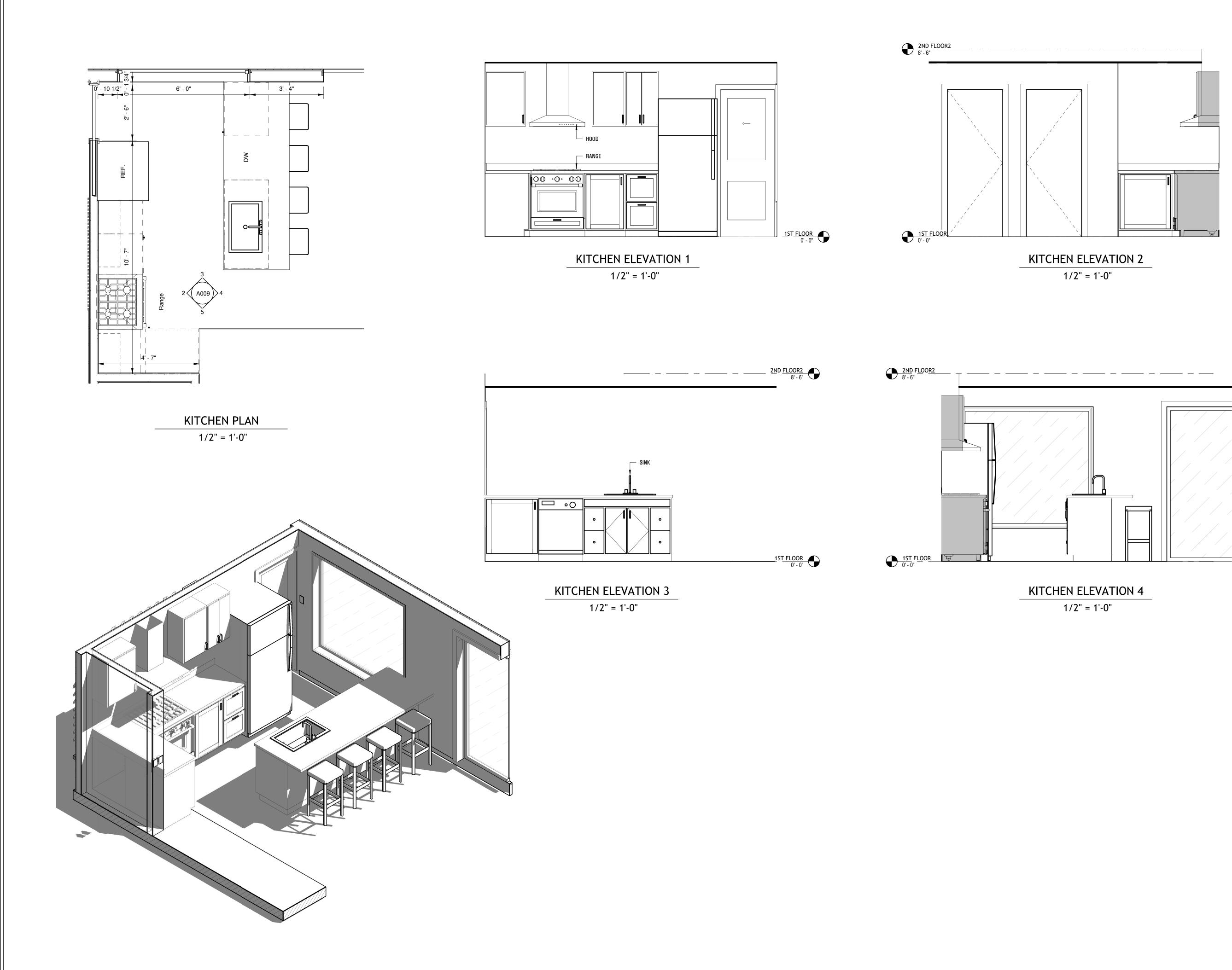
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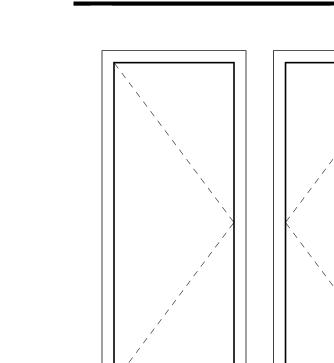
4 PANEL DOOR

WALL TYPES



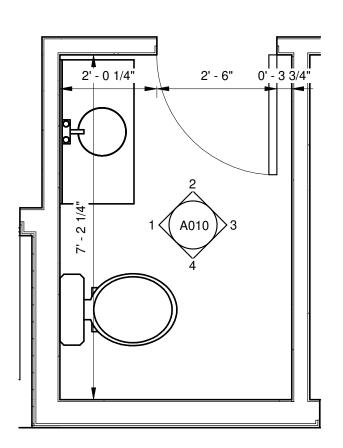




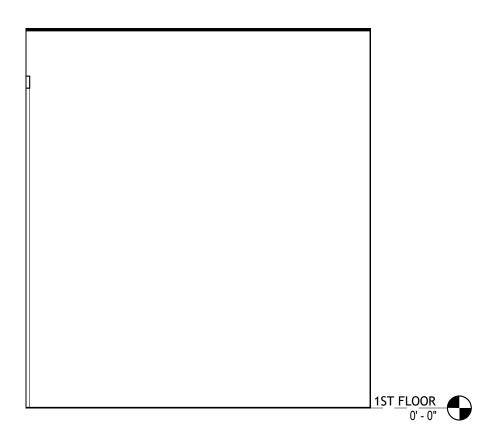


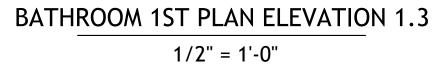


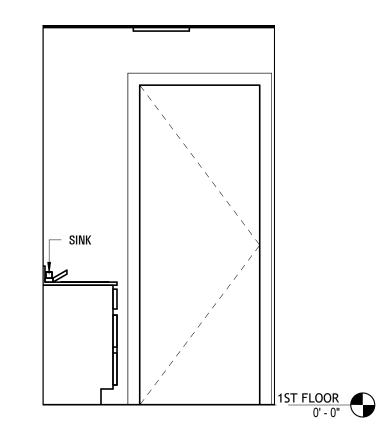
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KITCHEN PLAN, ELEVATIONS
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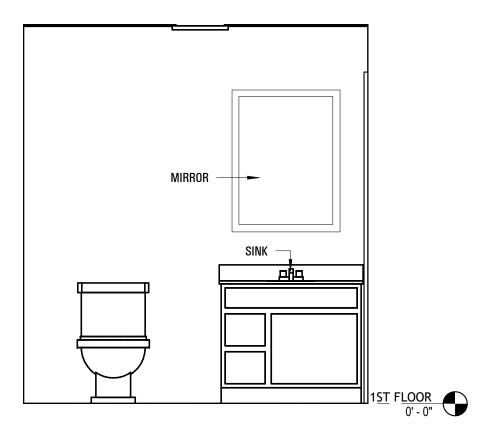
BATHROOM 1ST FLOOR 1/2" = 1'-0"



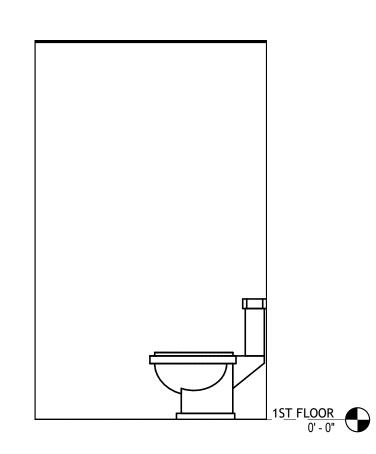




BATHROOM 1ST PLAN ELEVATION 1.1 1/2" = 1'-0"

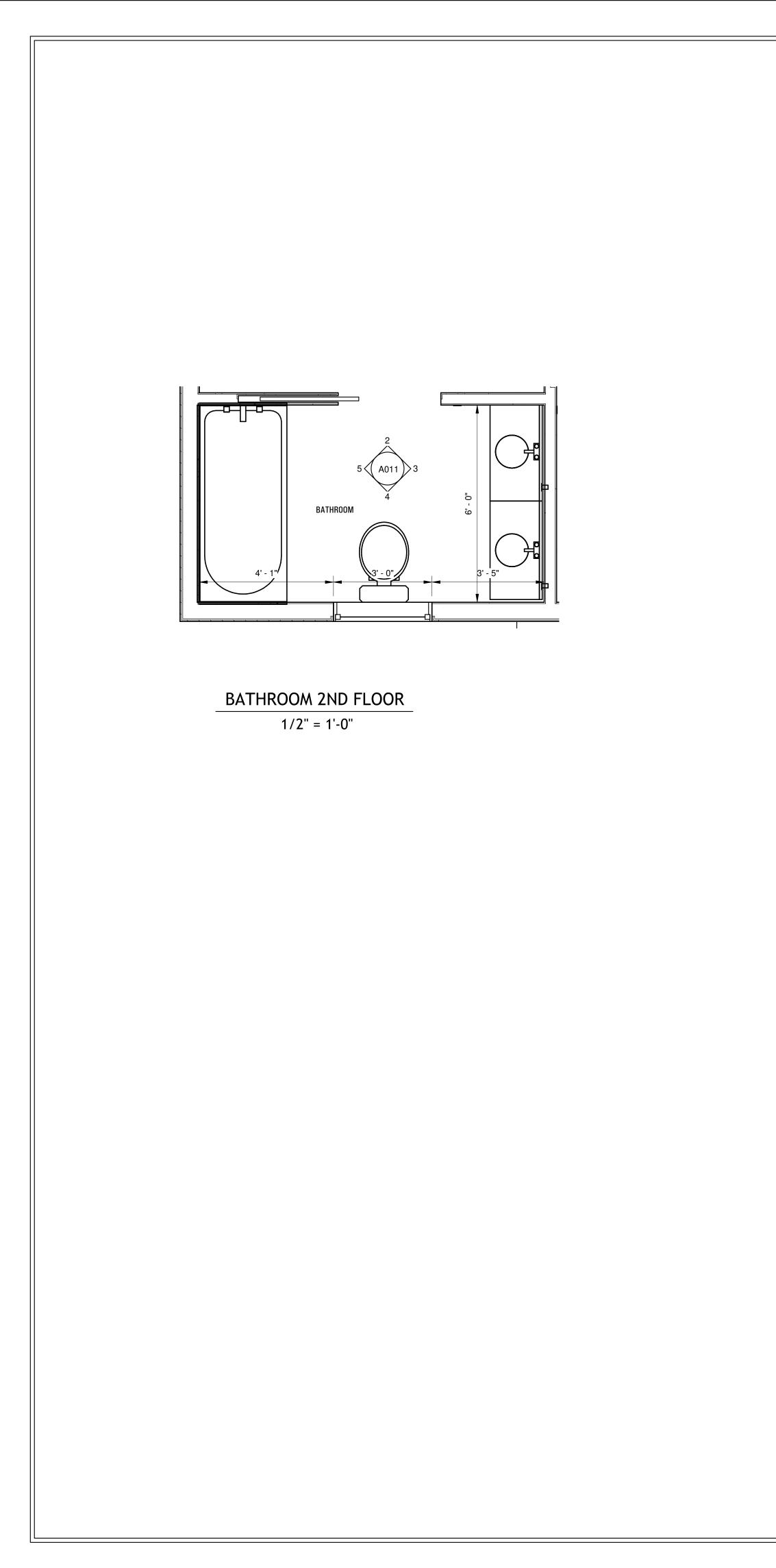


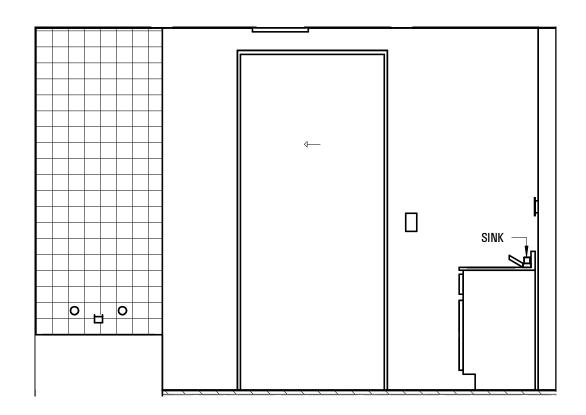
BATHROOM 1ST PLAN ELEVATION 1.4 1/2" = 1'-0"

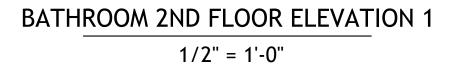


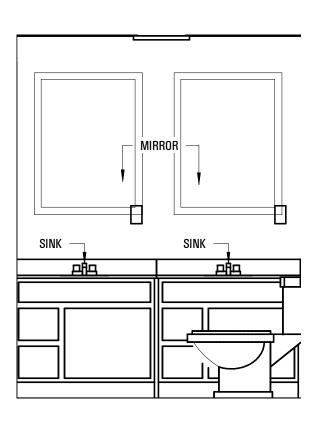
BATHROOM 1ST FLOOR ELEVATION 1.2 1/2" = 1'-0"

		Canal Park Dr Salisbury, MD 21804			
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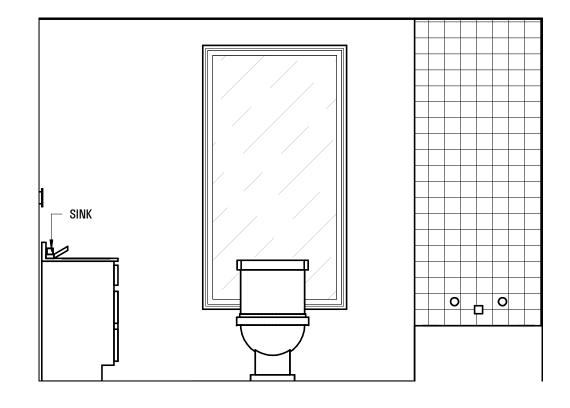




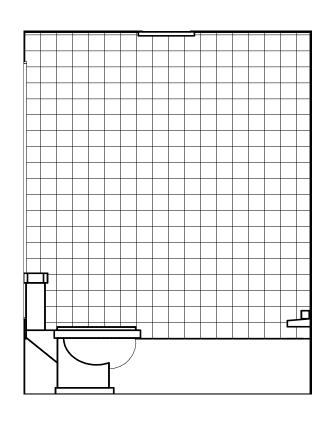




BATHROOM 2ND FLOOR ELEVATION 2 1/2" = 1'-0"



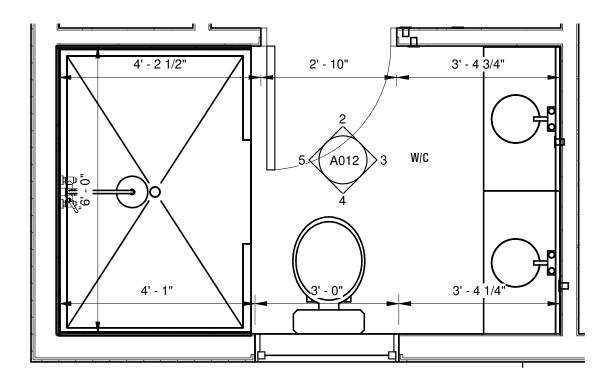
BATHROOM 2ND FLOOR ELEVATION 3 1/2" = 1'-0"



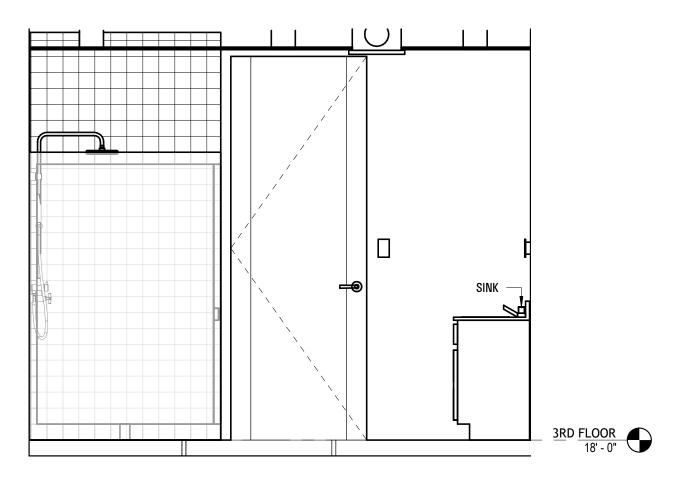
1/2" = 1'-0"

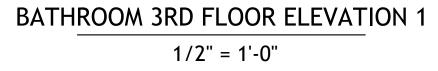
BATHROOM 2ND FLOOR ELEVATION 4

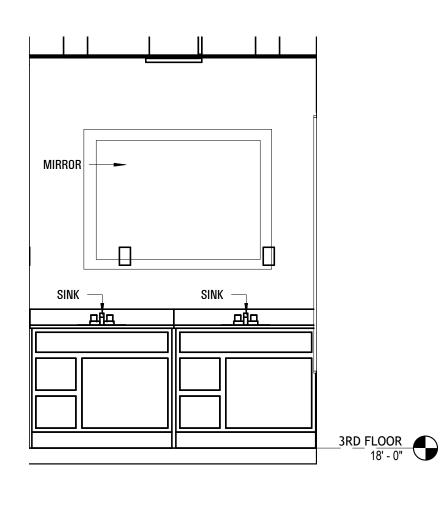
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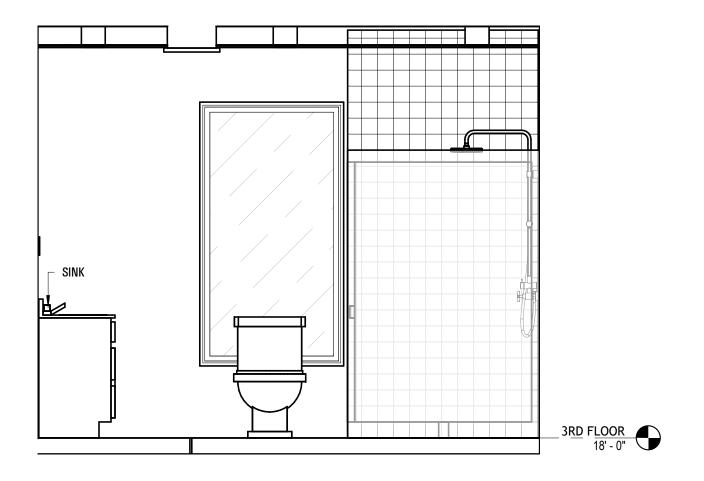
BATHROOM 3RD FLOOR 1/2" = 1'-0"







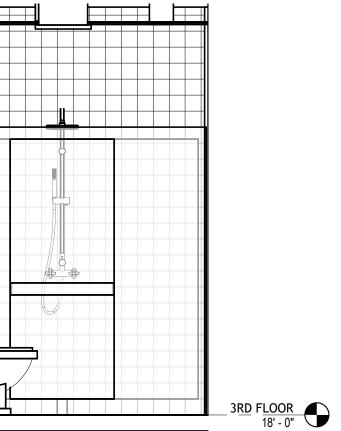




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BATHROOM 3RD FLOOR ELEVATION 3 1/2" = 1'-0"

BATHROOM 3RD FLOOR ELEVATION 2 1/2" = 1'-0"



BATHROOM 3RD FLOOR ELEVATION 4 1/2" = 1'-0"

1 NUTY 804					
WNHOME COMMUNITY Canal Park Dr Salisbury, MD 21804					
TOWNHOME Canal Salisbury,					
MARK DATE DESCRIPTION					
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