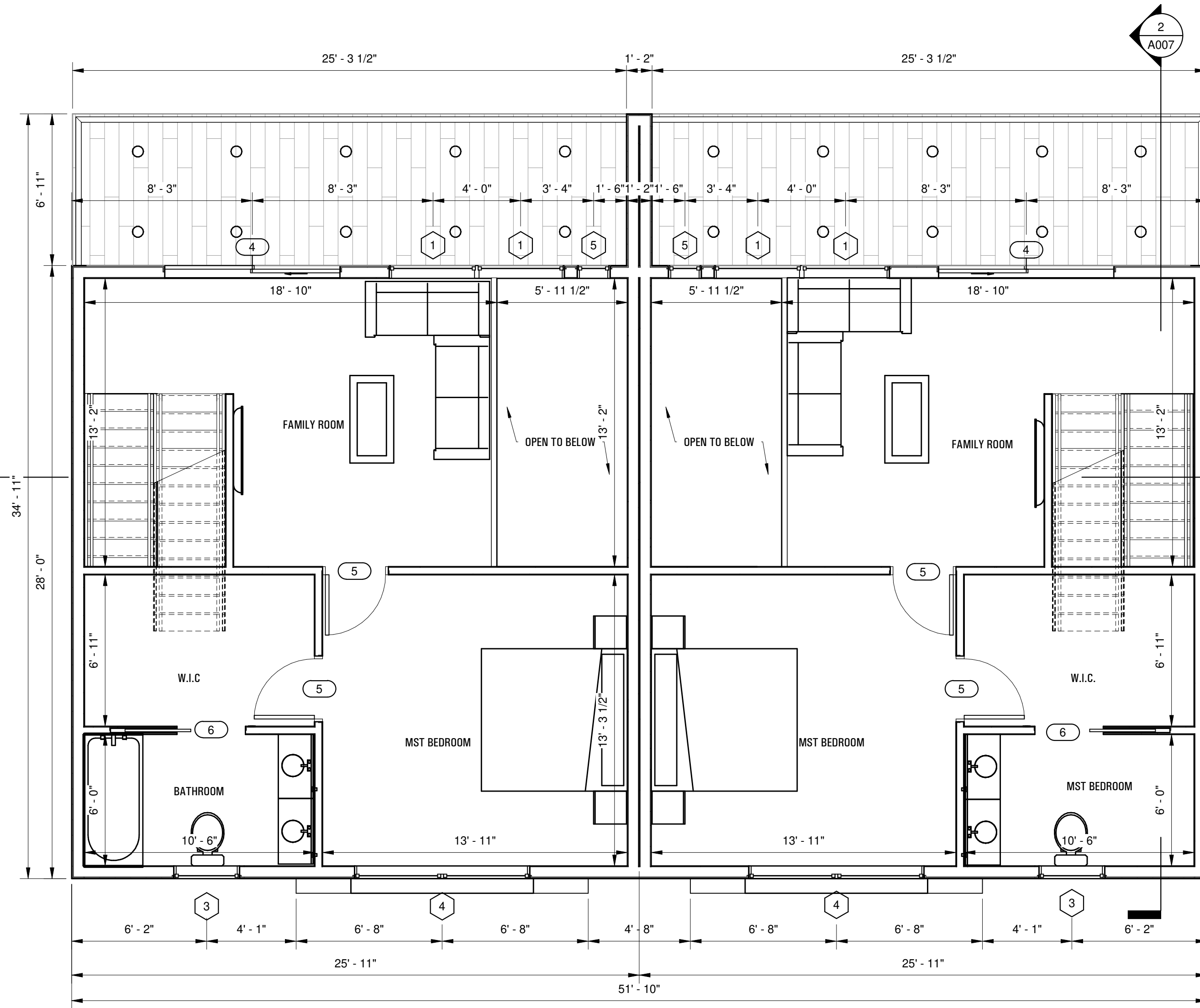


1ST FLOOR PLAN

1/4" = 1'-0"



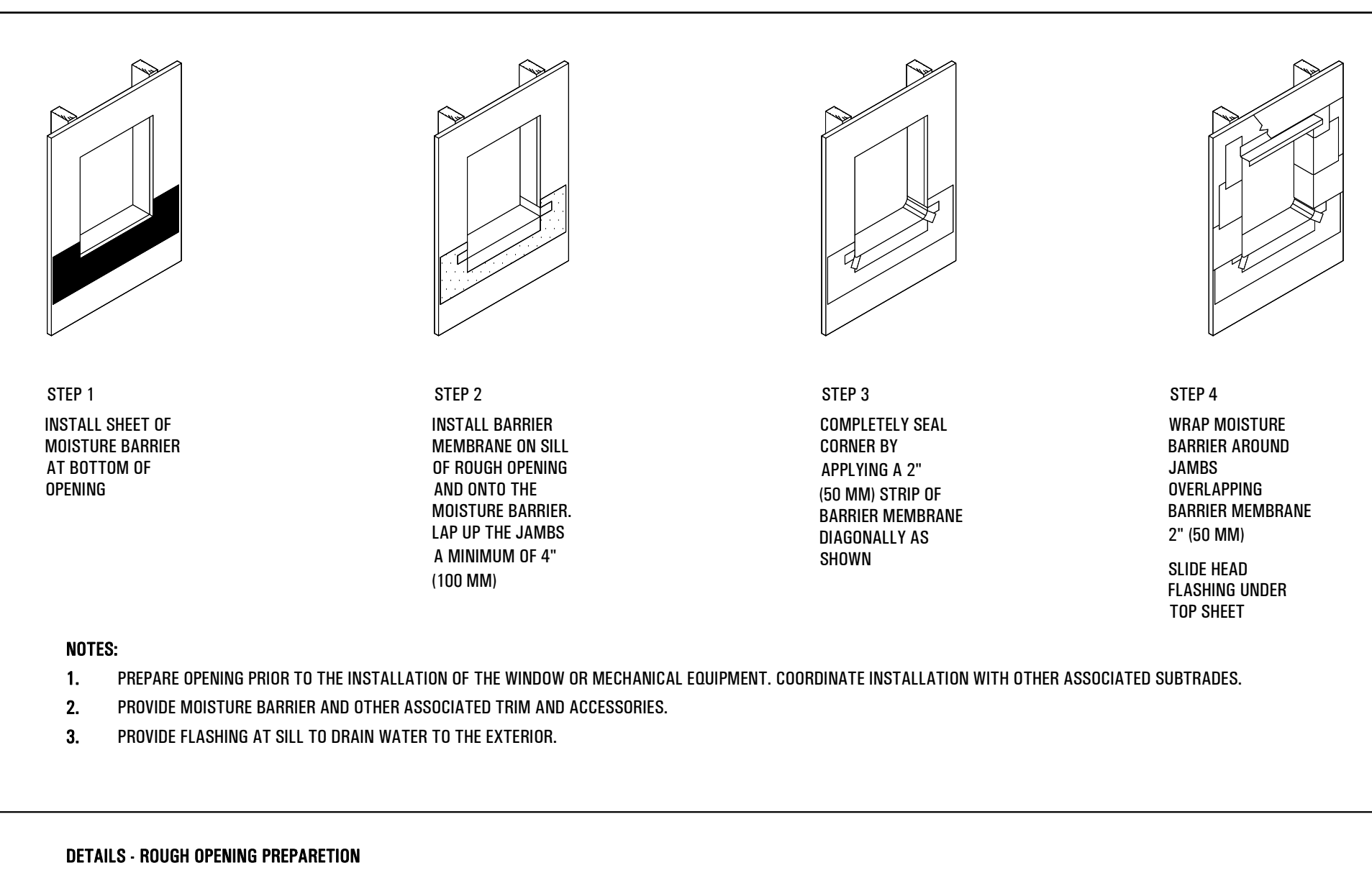
2ND FLOOR PLAN

1/4" = 1'-0"

ROOM SCHEDULE		
Number	Name	Area
1	ENTRANCE	106 SF
2	KITCHEN	146 SF
3	DINING ROOM	96 SF
4	LIVING ROOM	97 SF
5	CABINET	84 SF
6	W/C	35 SF
7	MECHANICAL	44 SF
8	CLOSET	7 SF
1ST FLOOR		614 SF
9	FAMILY ROOM	194 SF
10	MST BEDROOM	185 SF
11	W.I.C.	73 SF
12	BATHROOM	63 SF
2ND FLOOR		515 SF
13	BEDROOM #1	216 SF
14	BEDROOM #2	174 SF
15	HALLWAY	136 SF
16	CLOSET	17 SF
17	W/C	62 SF
18	CLOSET #1	14 SF
19	CLOSET #2	14 SF
3RD FLOOR		633 SF
Grand total		1762 SF

PLAN NOTES:

- STAIR HANDRAILS SHALL BE LOCATED 34"-38" ABOVE STAIR NOSING. HANDRAIL SHALL BE CONTINUOUS AND SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINAL. GRASP DIMENSION SHALL BE 1" - 1 1/4", MAX. OPENING SHALL NOT PERMIT PASSAGE OF 4" SPHERE.
- GUARDRAIL @ 36" MAX. 4" OPENING PER IBC 312.1, 312.2
- DIMENSION THE STAIRWAY TO BE A MINIMUM 36" CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT, WITH HANDRAILS PROJECTING A MAXIMUM OF 4.5" ON EITHER SIDE OF THE STAIRWAY (NOT LESS THAN 31.5" MINIMUM WIDTH WHERE HANDRAIL INSTALLED ON ONE SIDE, AND 27" MINIMUM WIDTH WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES OF THE STAIRWAY).
- MAXIMUM 7.75" RISE AND MINIMUM 10" RUN FOR STEPS.
- 80" MINIMUM HEADROOM AT STAIRWAY.

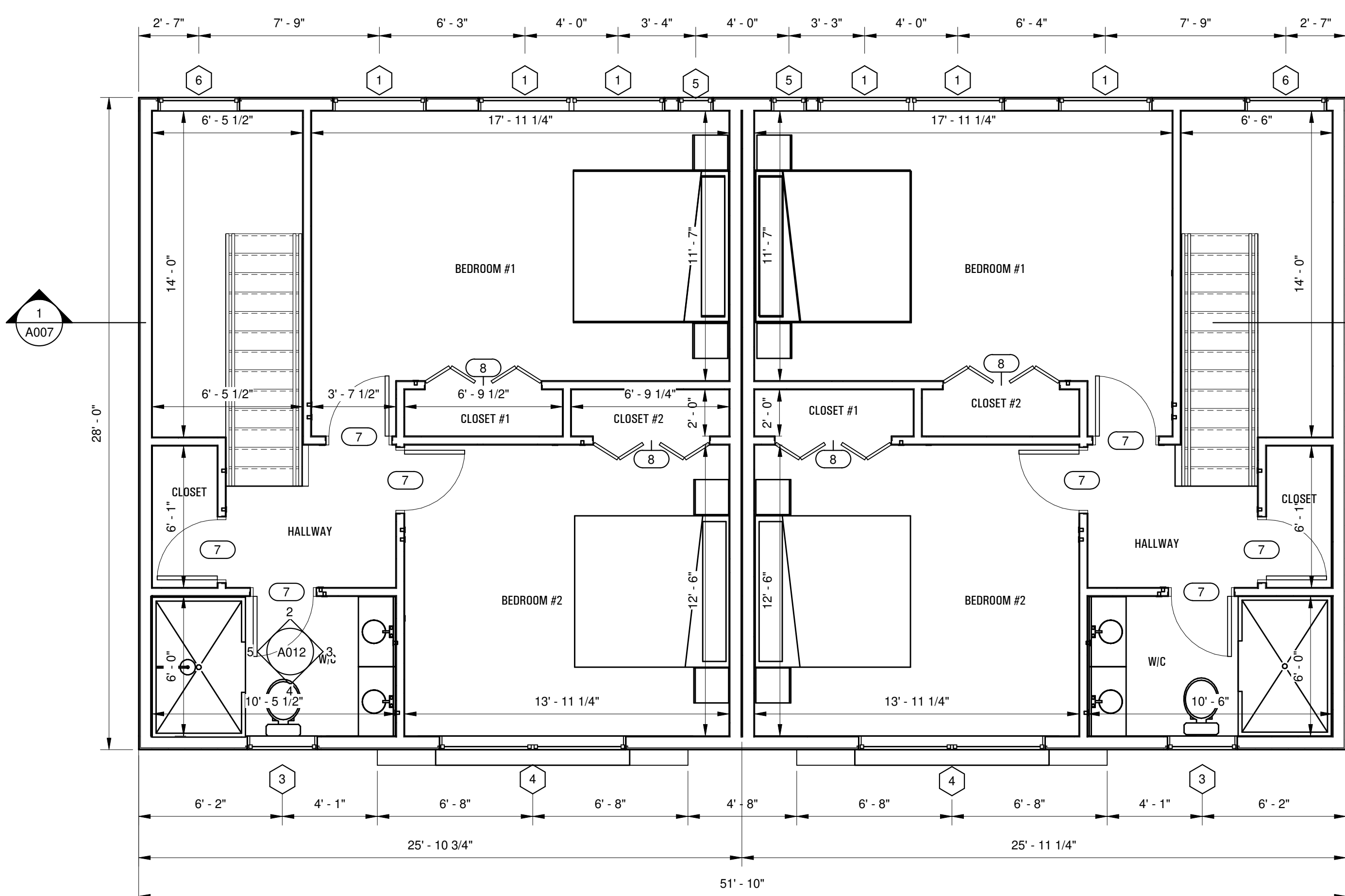


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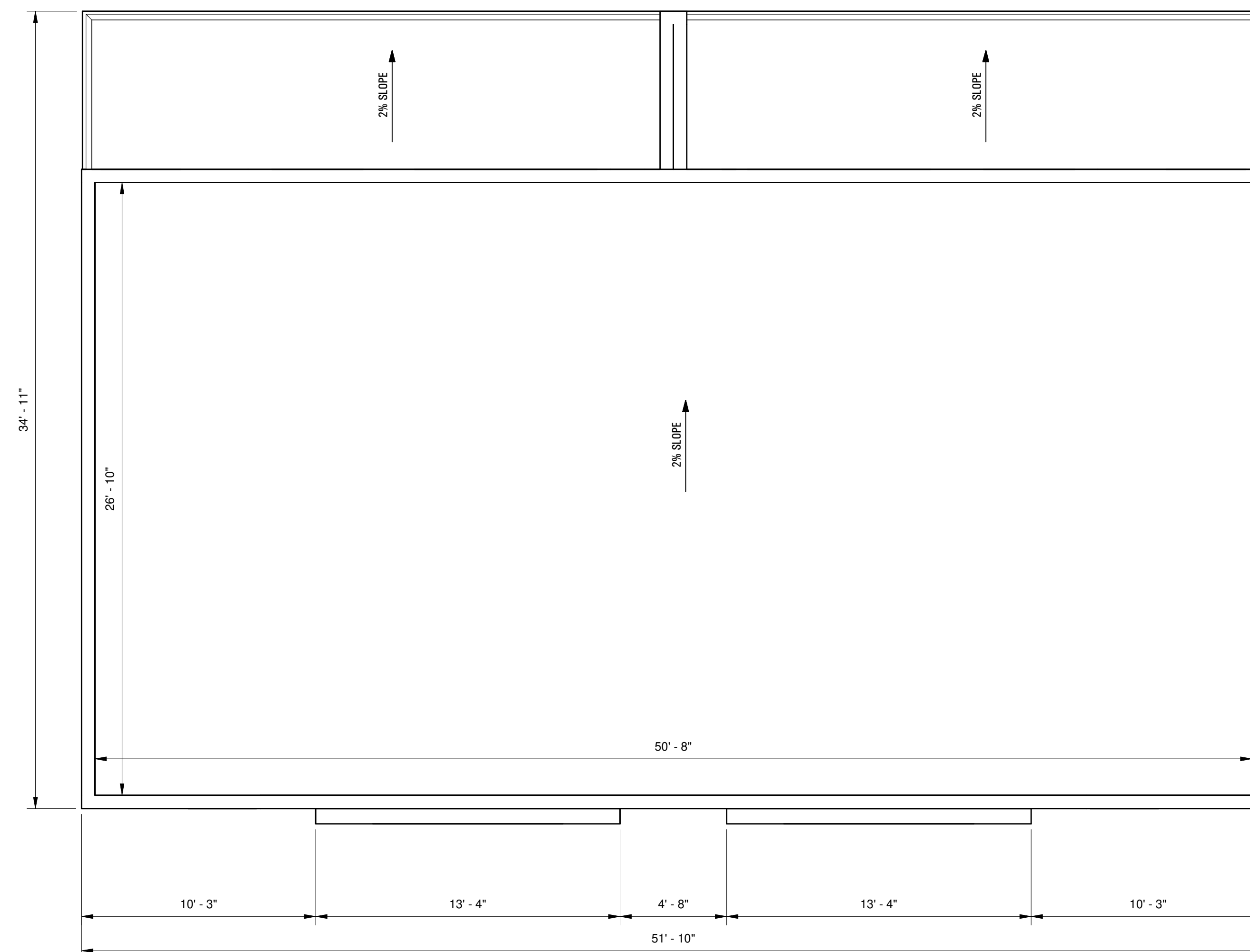
1ST & 2ND FLOOR PLANS

DRAWING SHEET NO:

A001

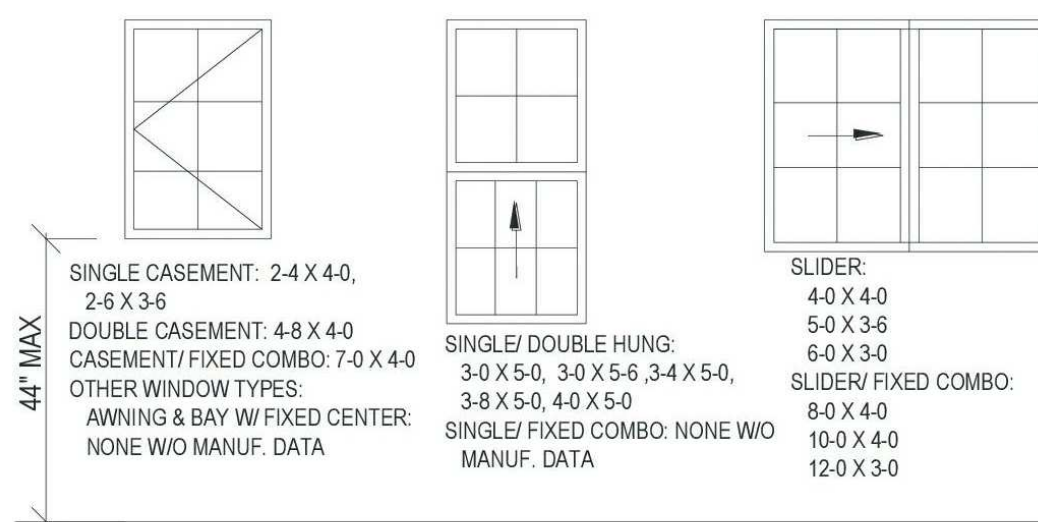


3RD FLOOR PLAN  
1/4" = 1'-0"

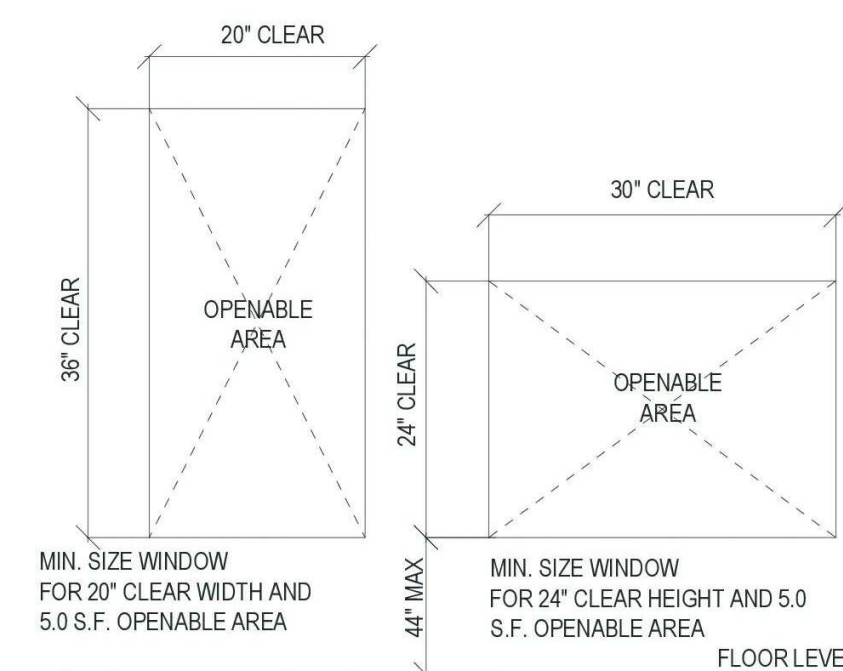


ROOF PLAN  
1/4" = 1'-0"

THE FOLLOWING WINDOW SIZES WILL BE THE MINIMUM ALLOWED FOR 5.0 SF.



NOTE: SIZES ARE TAKEN FROM DATA SUPPLIED BY WINDOW MANUFACTURERS. HOWEVER, THESE ARE GENERAL DIMENSIONS AND MUST BE VERIFIED WITH ACTUAL WINDOWS INSTALLED TO MEET MINIMUM EGRESS REQUIREMENTS.



1. 20" MIN. CLEAR WIDTH  
 2. 24" MIN. CLEAR HEIGHT  
 3. 5.0 SF MIN. OPENABLE AREA AT GRADE-FLOOR ONLY, 5.7 SF MIN. ELSEWHERE.

EMERGENCY ESCAPE/ RESCUE OPENING (R310)

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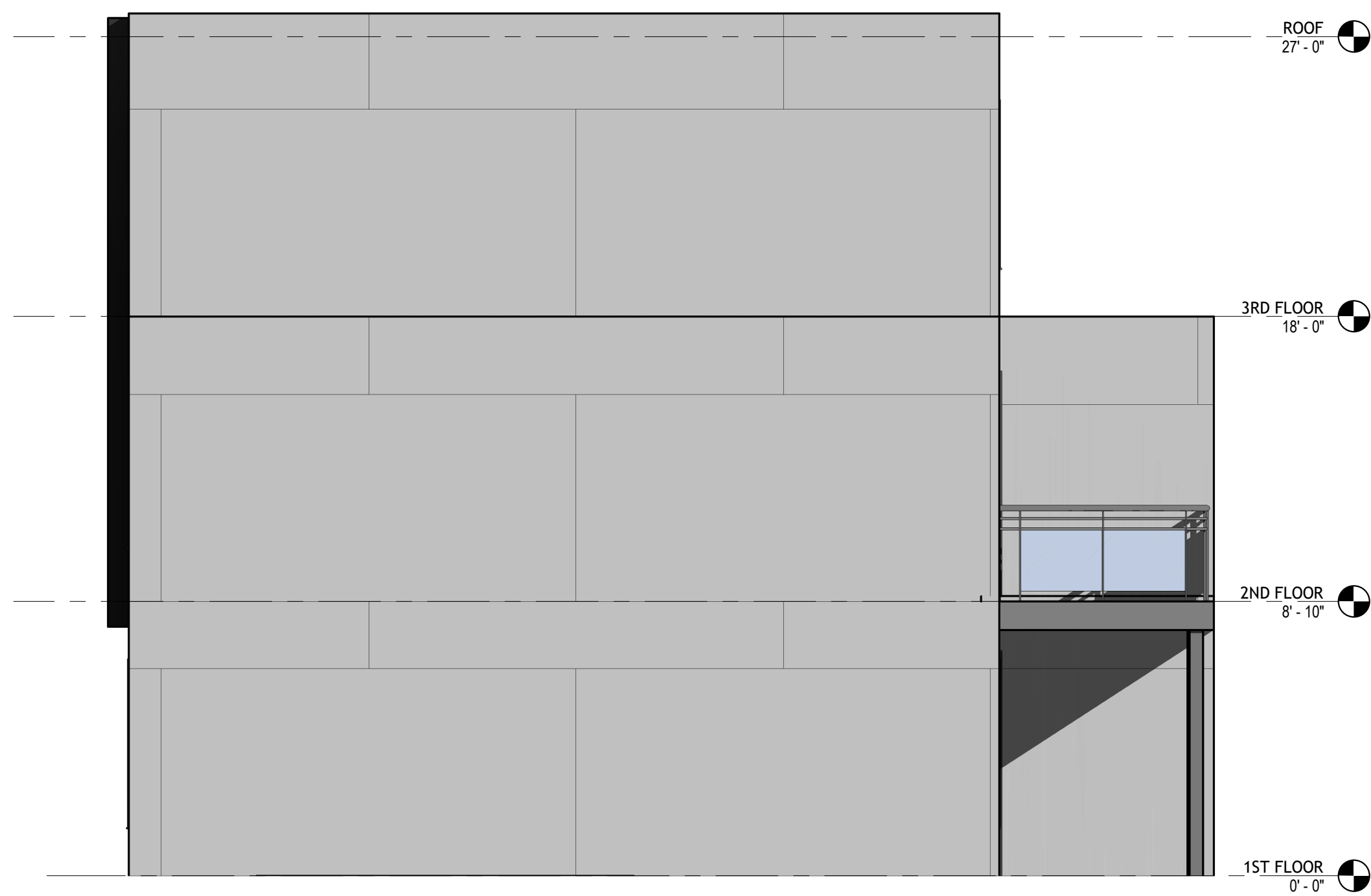
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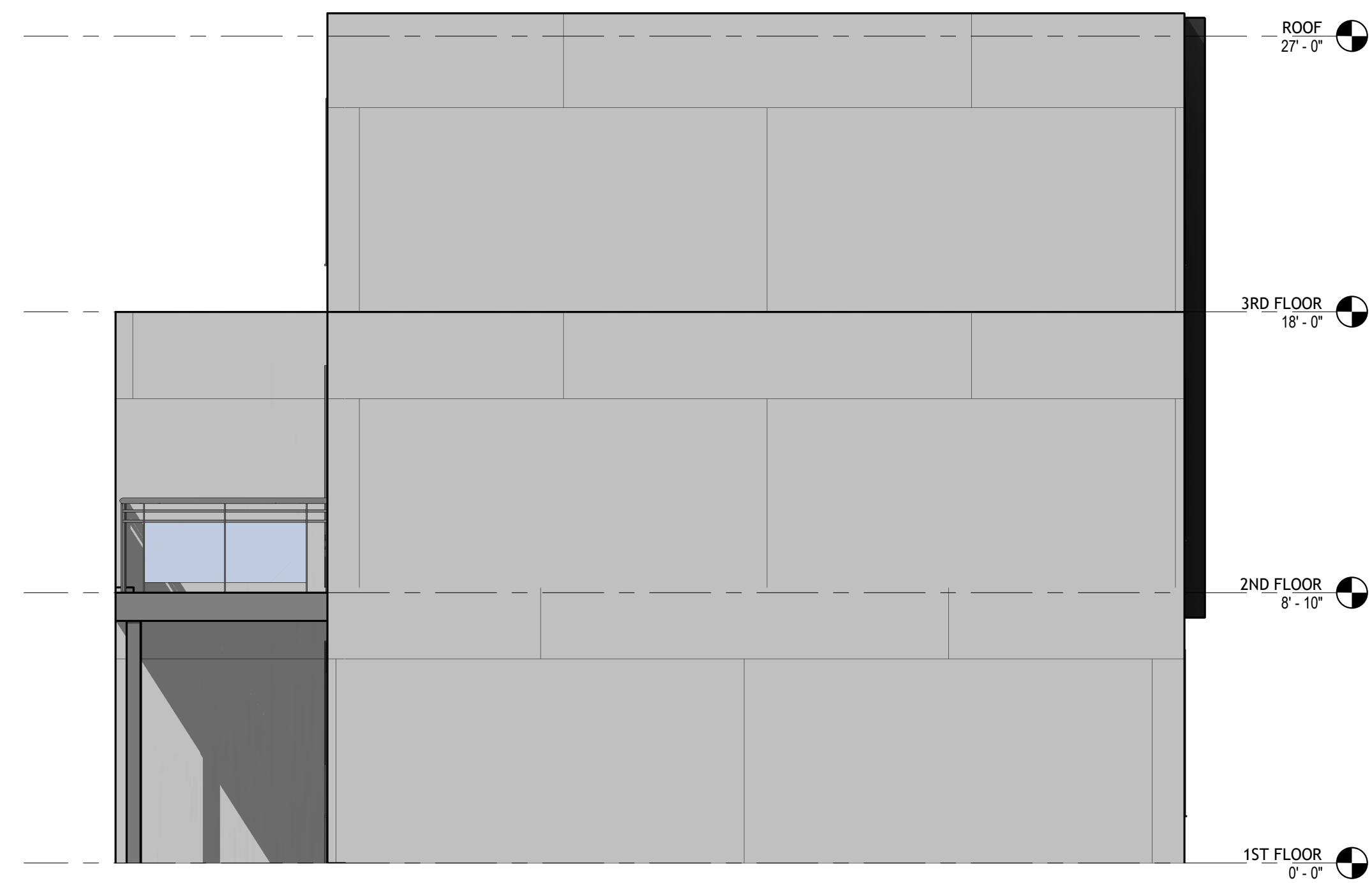
3RD & ROOF FLOOR PLANS

DRAWING SHEET NO:  
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LEFT ELEVATION  
1/4" = 1'-0"



RIGHT ELEVATION  
1/4" = 1'-0"

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TABLE R402.4.1.1  
AIR BARRIER AND INSULATION INSTALLATION<sup>a</sup>

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling or soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance, R-value, of not less than R-3 per inch. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between framing and skylights, and the jambs of windows and doors, shall be sealed.	—
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.

Floors, including cantilevered floors and floors above garages	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking. Alternatively, floor framing cavity insulation shall be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing, and shall extend from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Crawl space insulation, where provided instead of floor insulation, shall be permanently attached to the walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	—
Narrow cavities	—	Batts to be installed in narrow cavities shall be cut to fit or narrow cavities shall be filled with insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	—
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the finished surface.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring	—	In exterior walls, batt insulation shall be cut neatly to fit around wiring and plumbing, or insulation, that on installation readily conforms to available space, shall extend behind piping and wiring.

Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate the wall from the shower or tub.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical and communication boxes. Alternatively, air-sealed boxes shall be installed.	—
HVAC register boots	HVAC supply and return register boots that penetrate building thermal envelope shall be sealed to the subfloor, wall covering or ceiling penetrated by the boot.	—
Concealed sprinklers	Where required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	—

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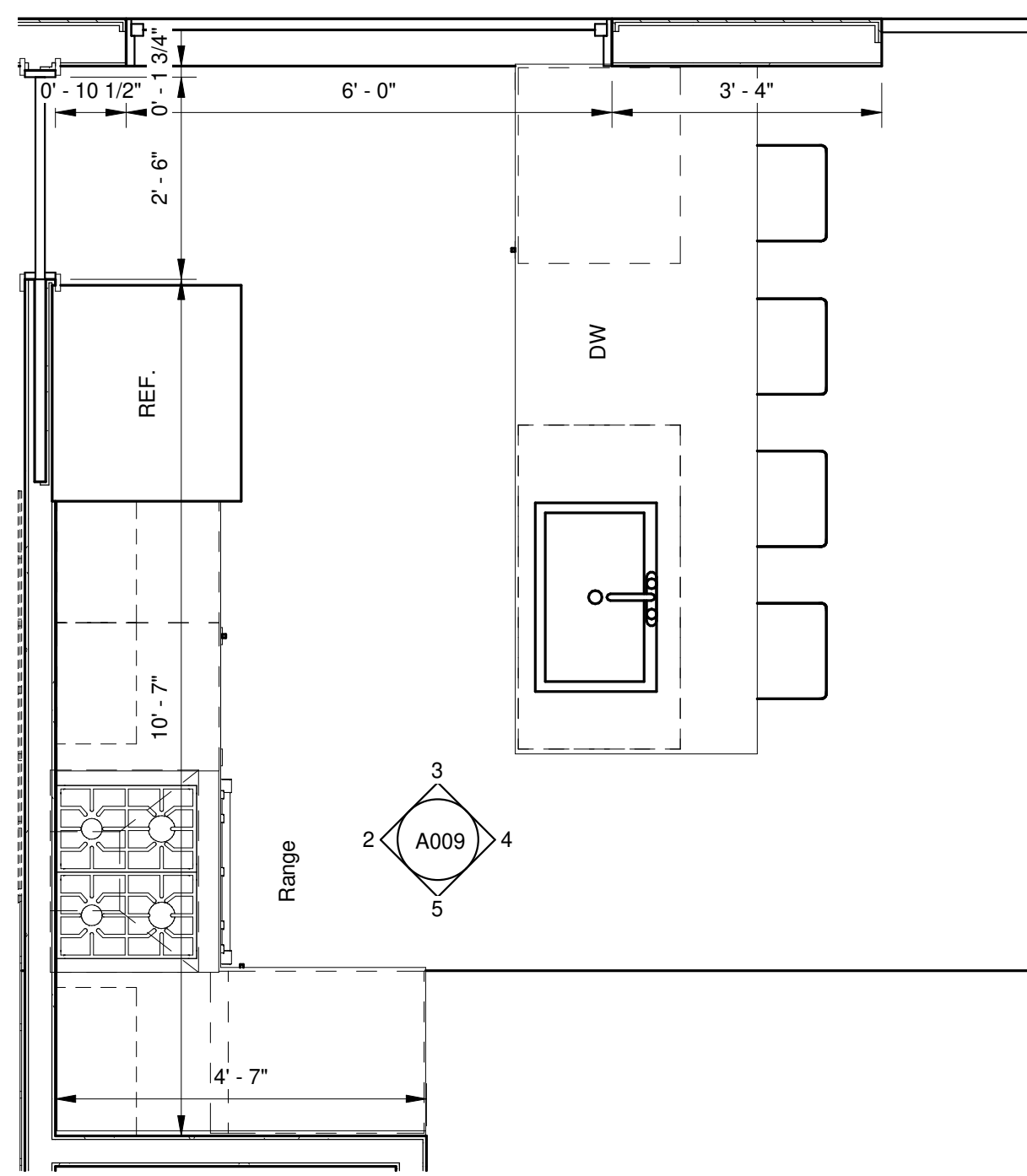
ELEVATIONS

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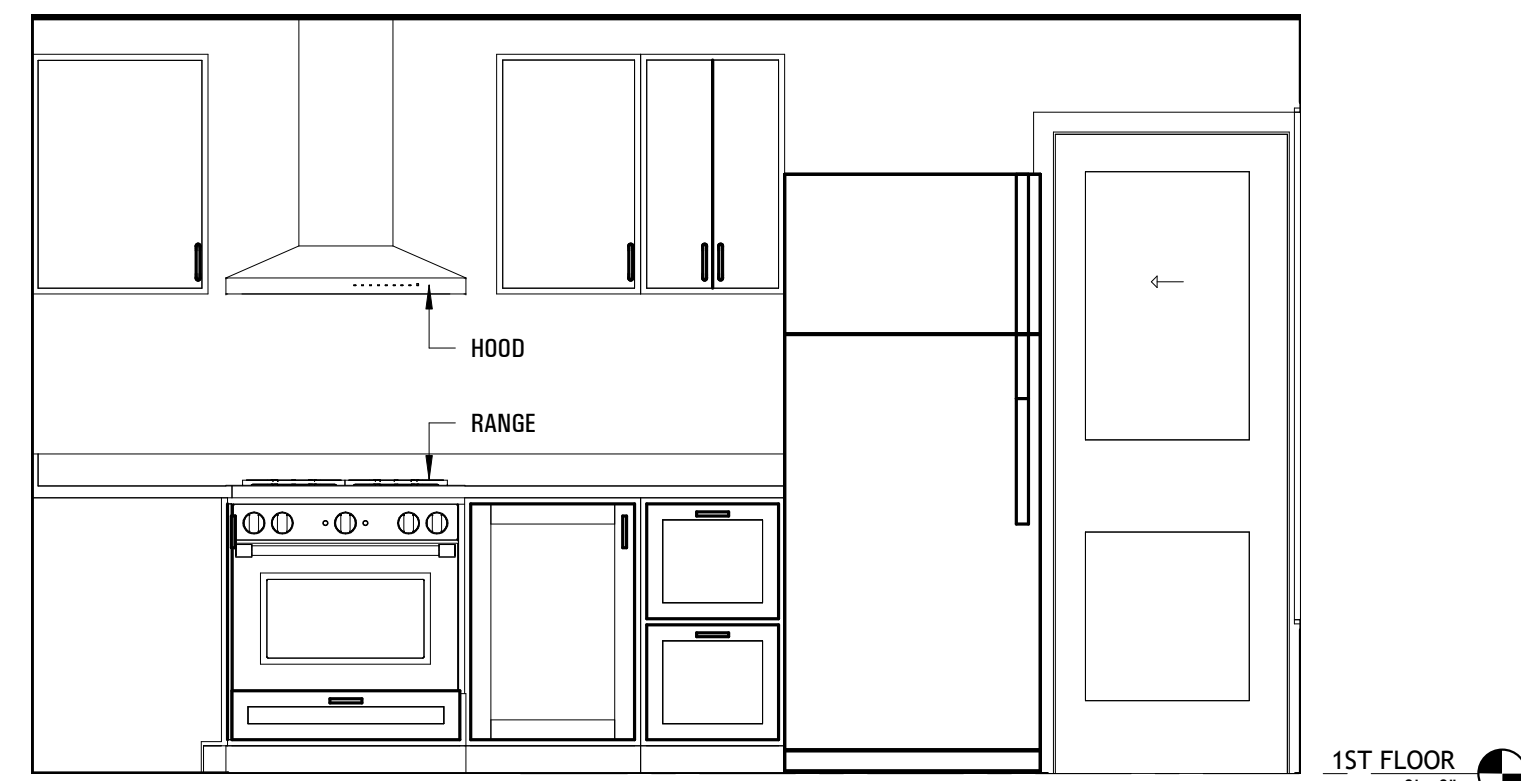
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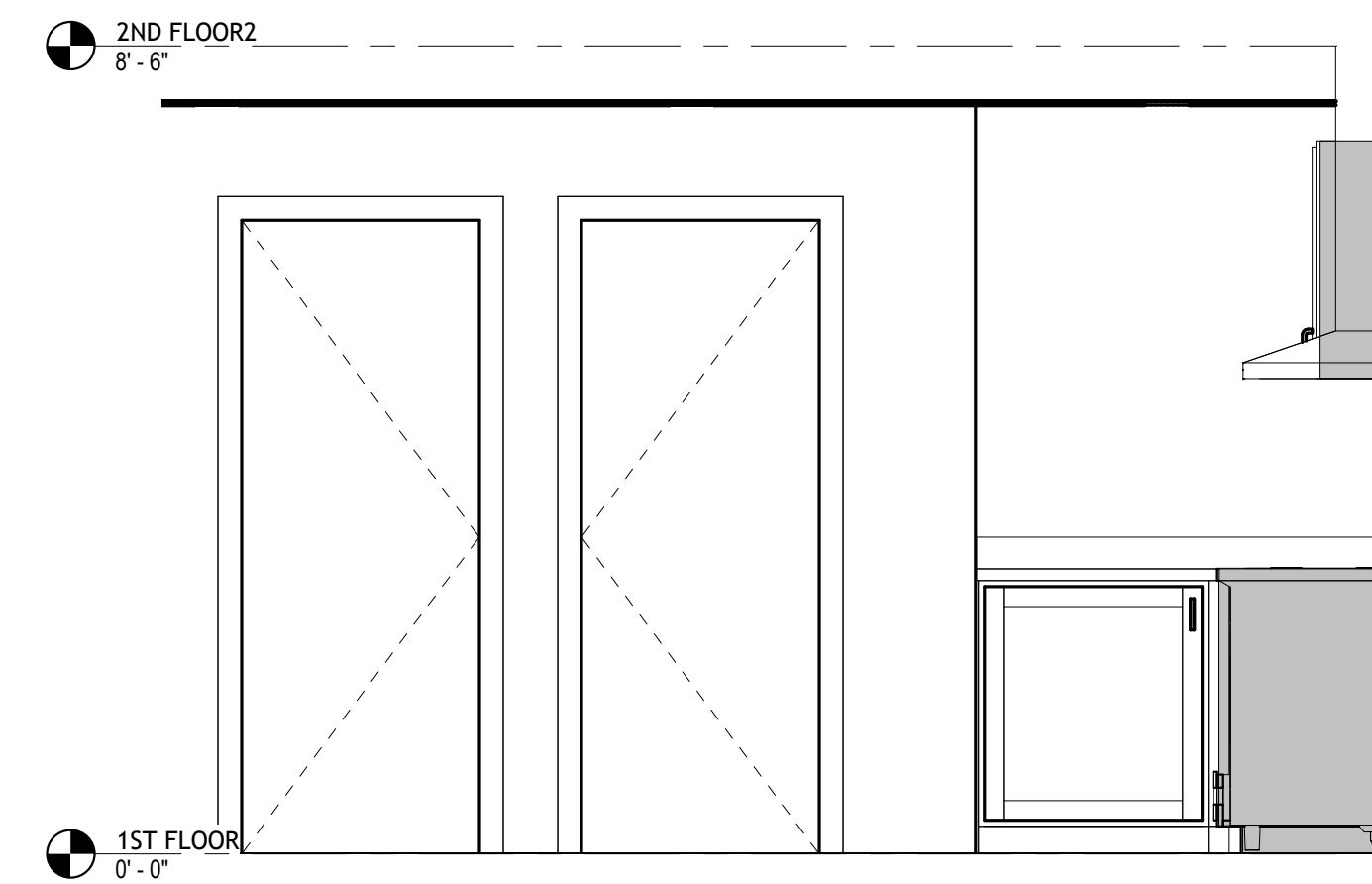




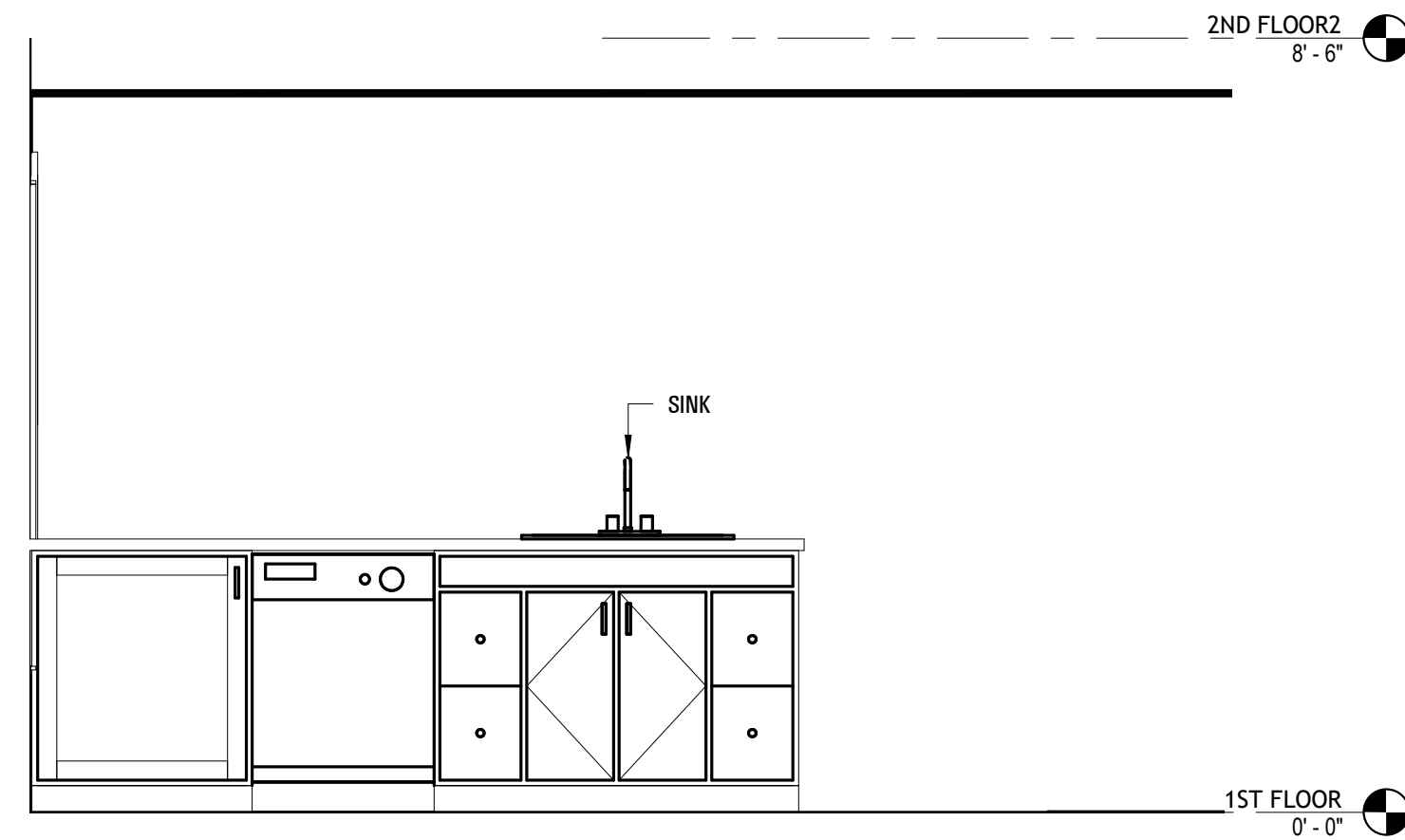
**KITCHEN PLAN**  
1/2" = 1'-0"



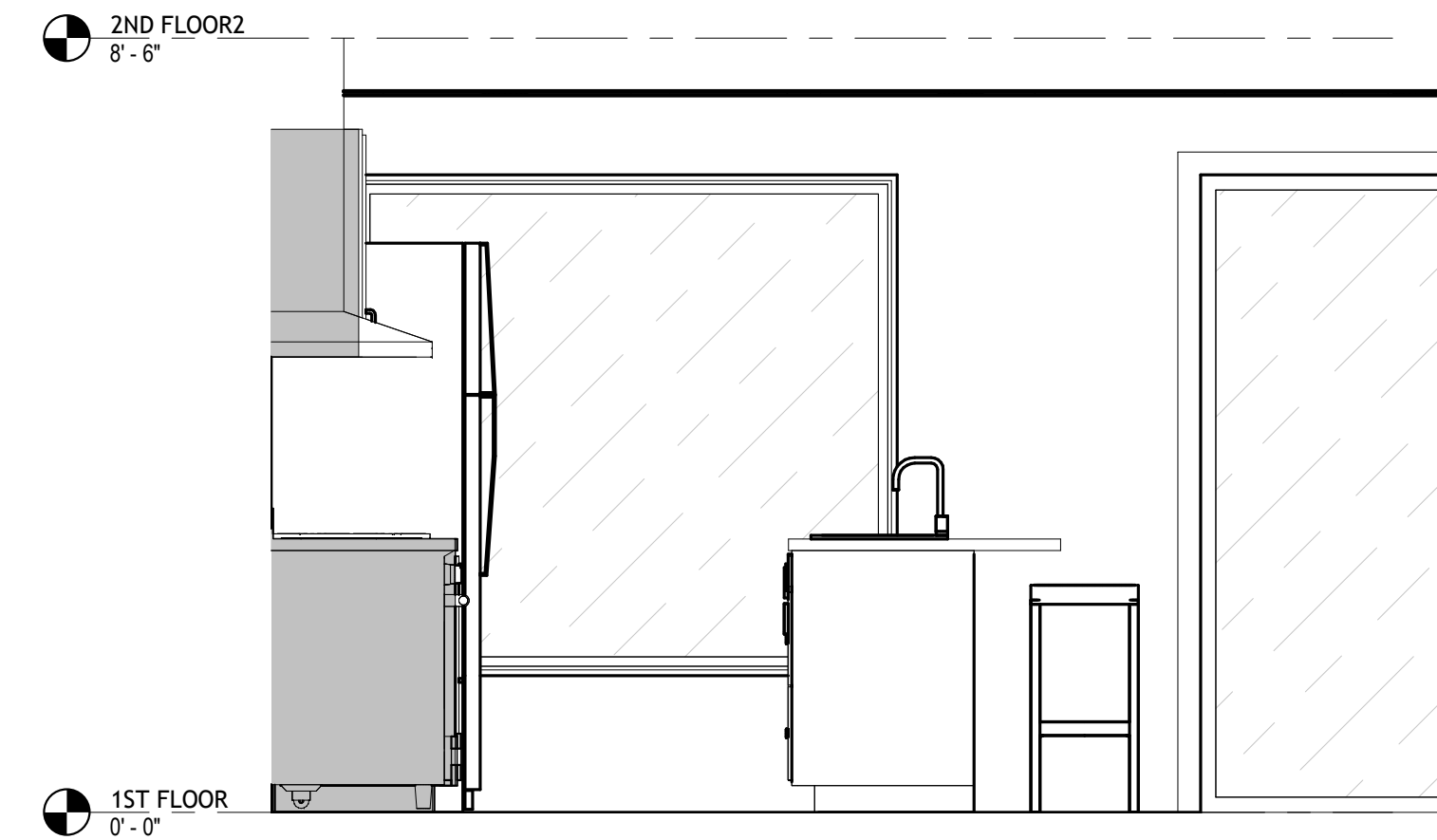
**KITCHEN ELEVATION 1**  
1/2" = 1'-0"



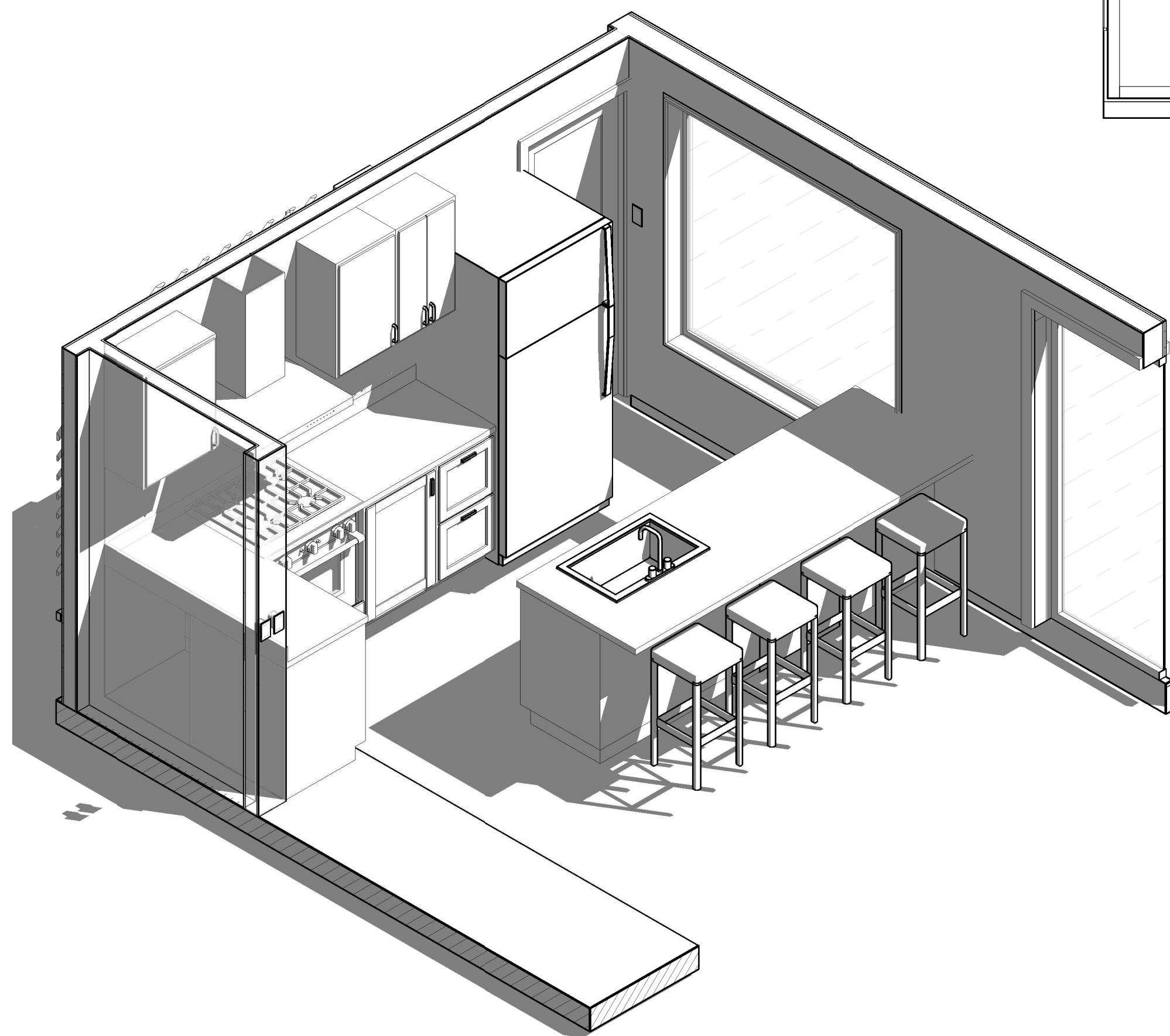
**KITCHEN ELEVATION 2**  
1/2" = 1'-0"



**KITCHEN ELEVATION 3**  
1/2" = 1'-0"



**KITCHEN ELEVATION 4**  
1/2" = 1'-0"



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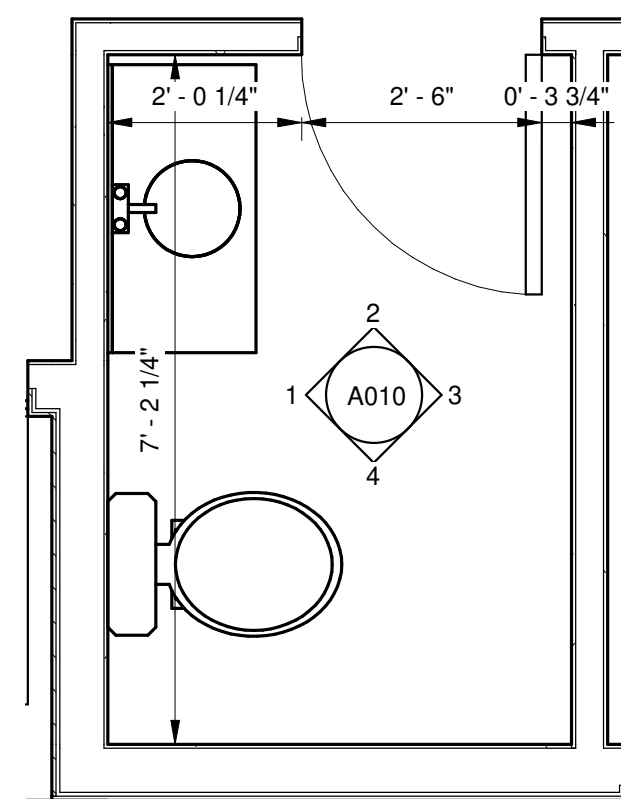
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**KITCHEN PLAN,  
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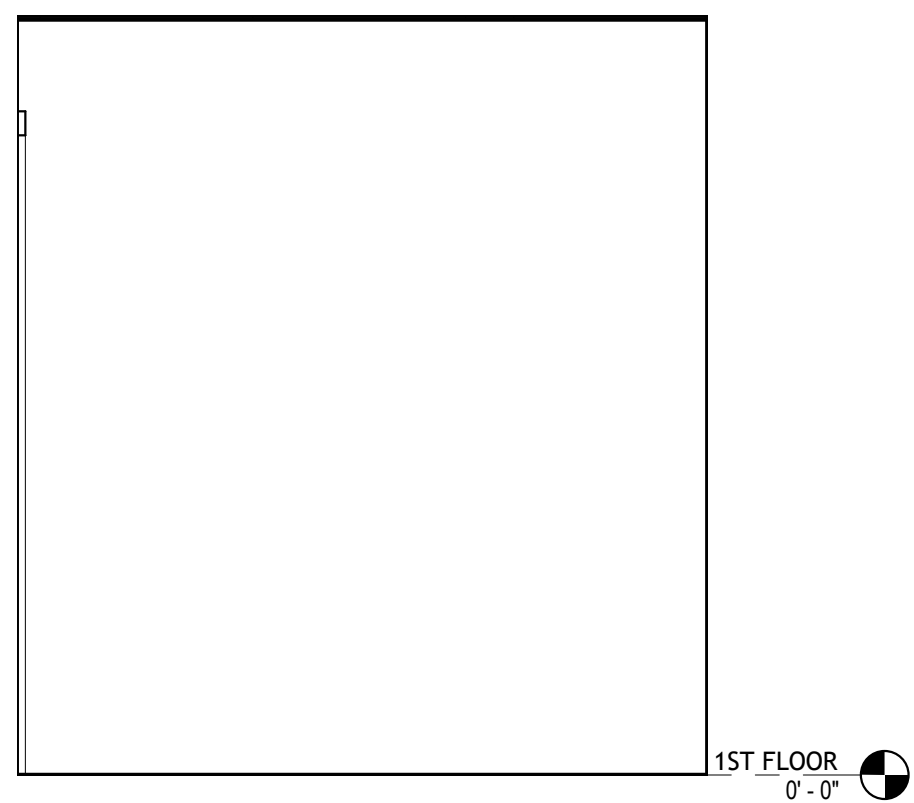
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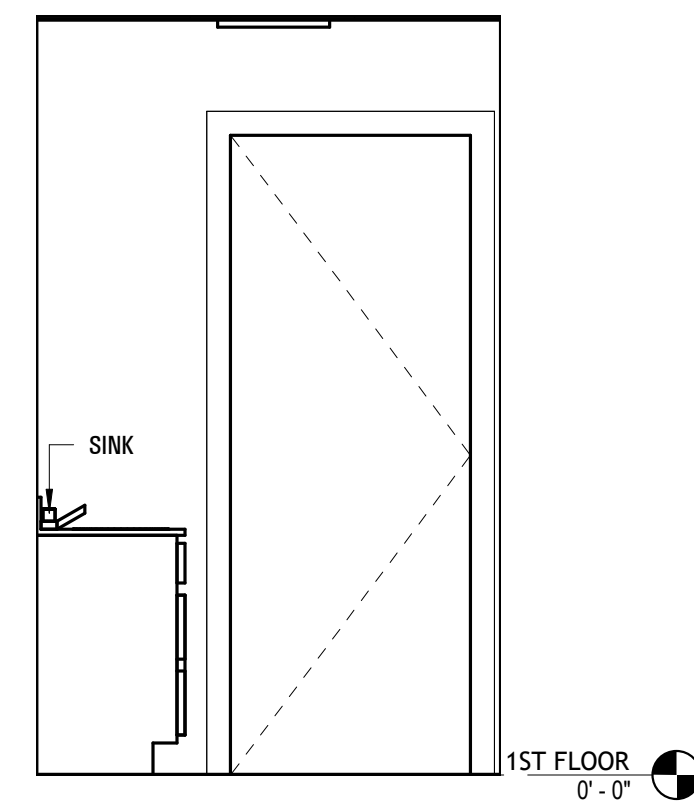




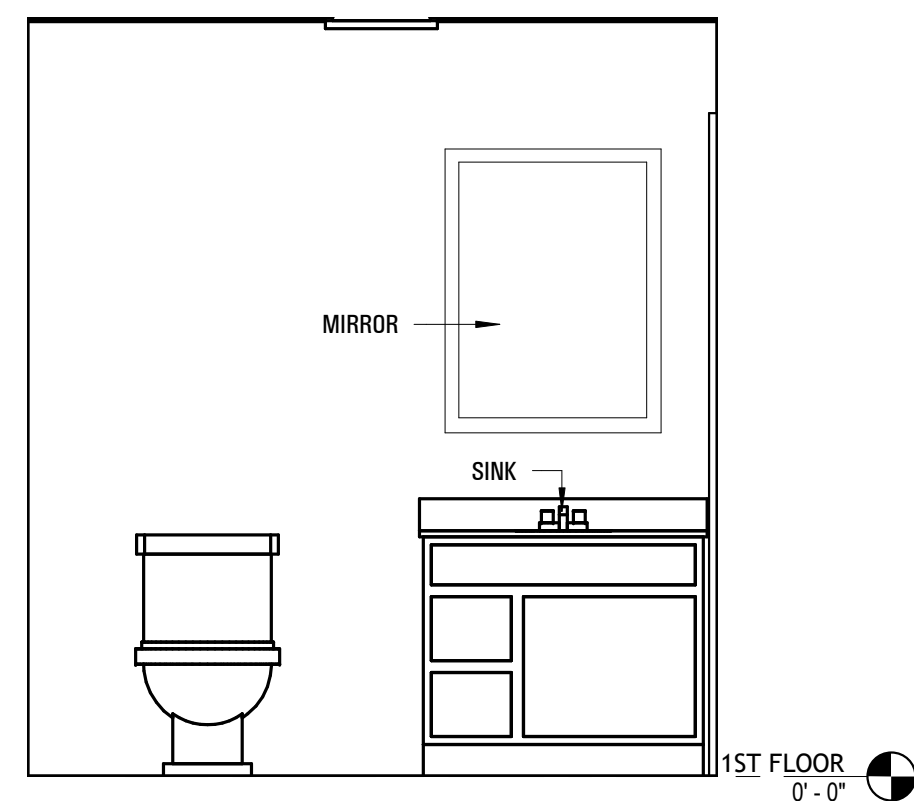
BATHROOM 1ST FLOOR  
1/2" = 1'-0"



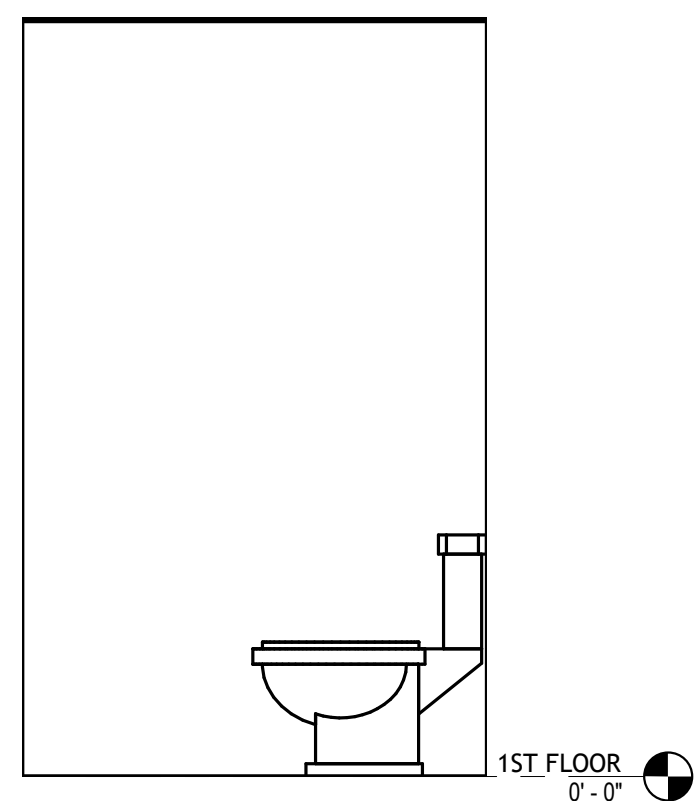
BATHROOM 1ST PLAN ELEVATION 1.3  
1/2" = 1'-0"



BATHROOM 1ST PLAN ELEVATION 1.1  
1/2" = 1'-0"



BATHROOM 1ST PLAN ELEVATION 1.4  
1/2" = 1'-0"



BATHROOM 1ST FLOOR ELEVATION 1.2  
1/2" = 1'-0"

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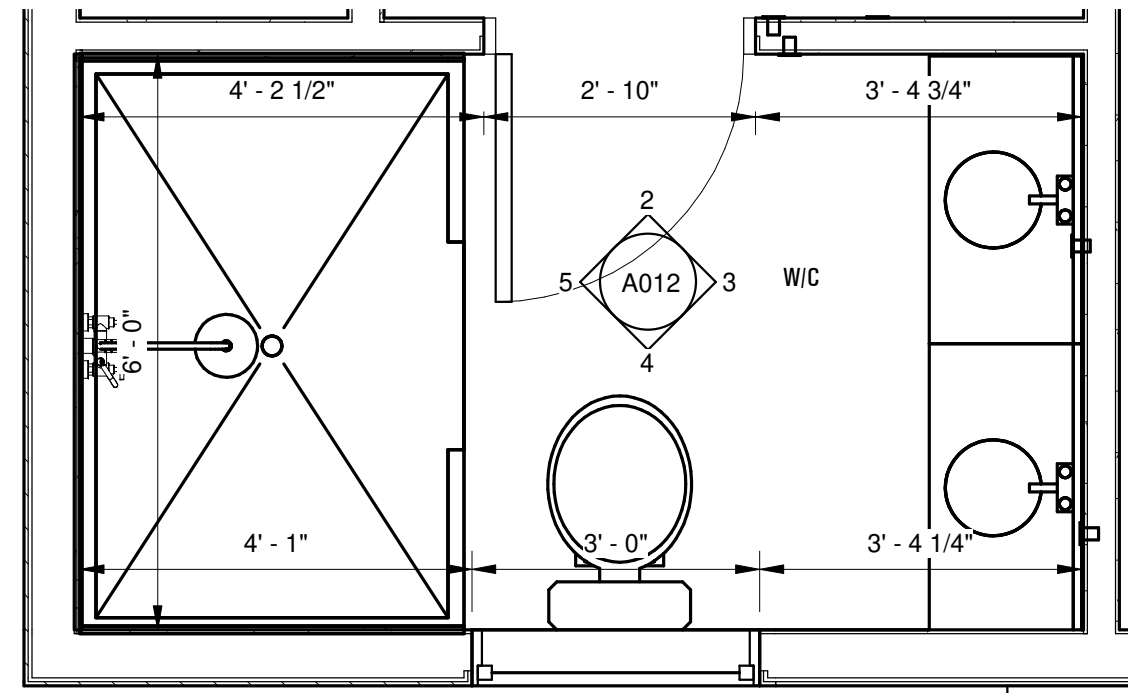
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**W/C 1ST FLOOR PLAN,  
ELEVATIONS**

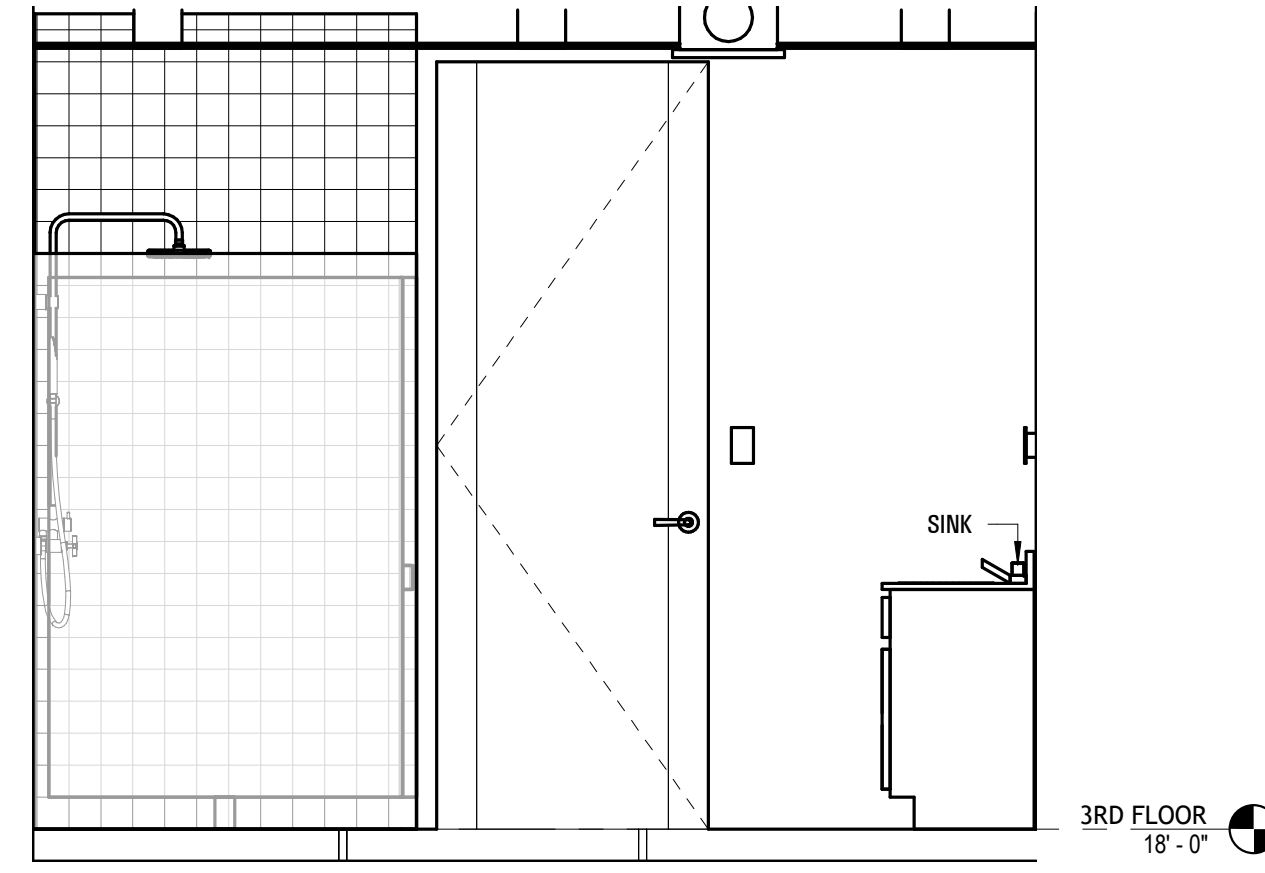
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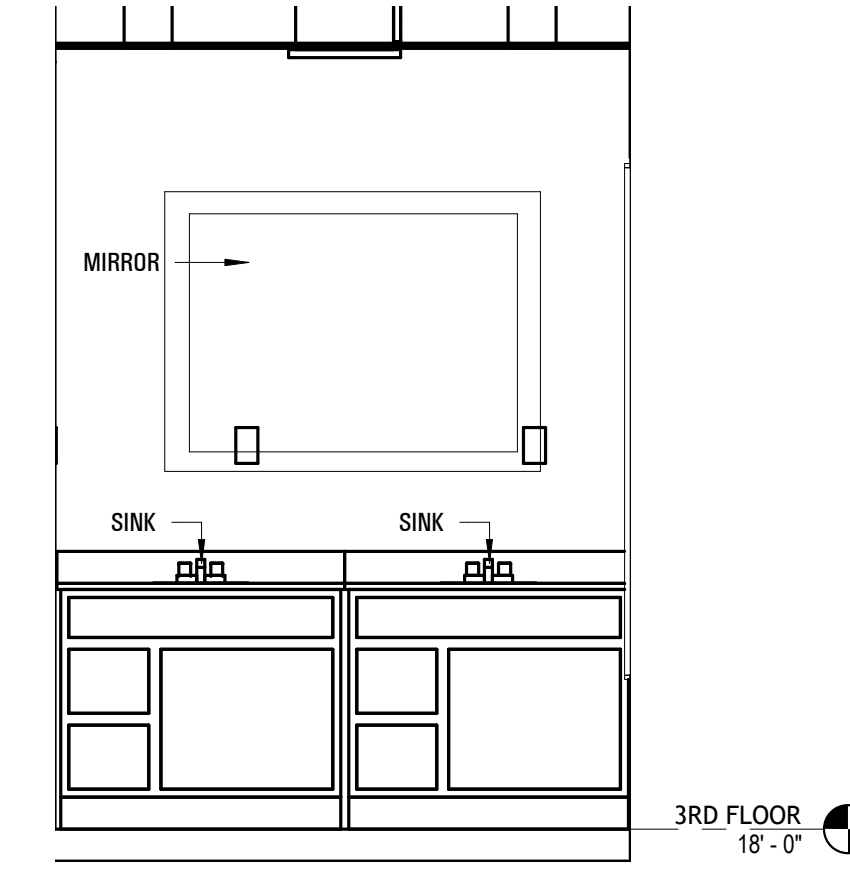




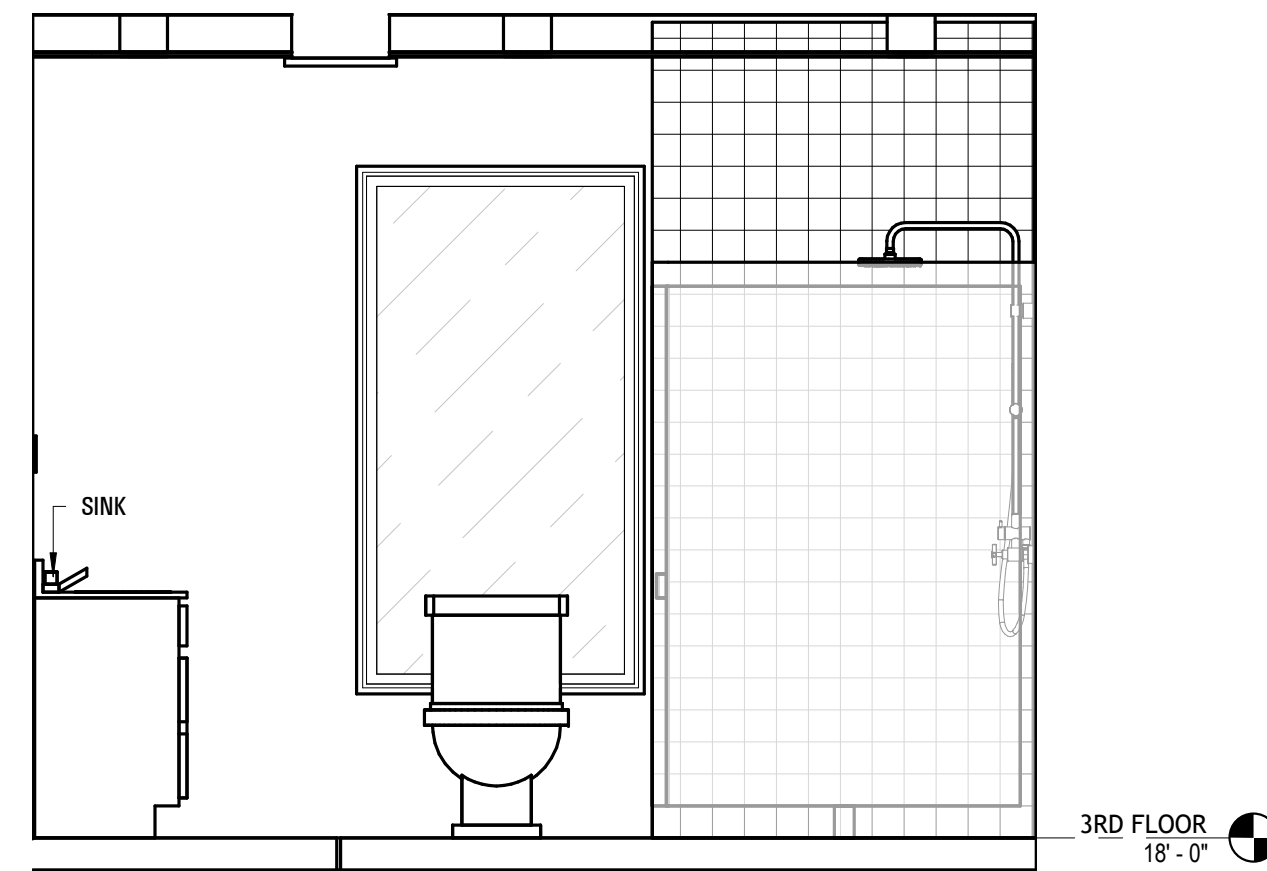
**BATHROOM 3RD FLOOR**  
 1/2" = 1'-0"



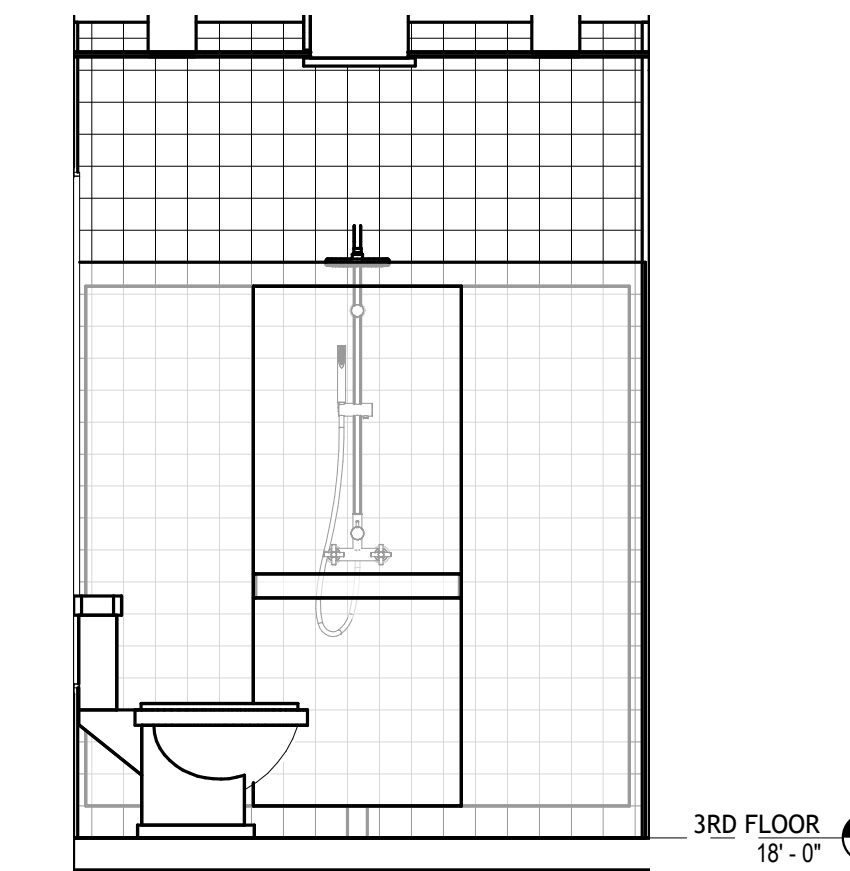
**BATHROOM 3RD FLOOR ELEVATION 1**  
 1/2" = 1'-0"



**BATHROOM 3RD FLOOR ELEVATION 2**  
 1/2" = 1'-0"



**BATHROOM 3RD FLOOR ELEVATION 3**  
 1/2" = 1'-0"



**BATHROOM 3RD FLOOR ELEVATION 4**  
 1/2" = 1'-0"

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<b>BATHROOM 3RD FLOOR PLANS, ELEVATIONS</b>		

DRAWING SHEET NO:  
**A012**

